

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

ICABLE CODES:				
NFPA LIFE SAFETY CODE 101 (NFPA)	2015	NEW YORK CITY MECHANICAL CODE (NYC MC)	2022	
NATIONAL ELECTRICAL CODE (NEC)	2014	NEW YORK CITY PLUMBING CODE (NYC PC)	2022	
NEW YORK CITY ELECTRICAL CODE (NY CEC)	2011	ICC / ANSI A117.1	2009	
NEW YORK CITY BUILDING CODE (NYC BC)	2022	ADA STANDARDS FOR ACCESSIBLE DESIGN	2010	
NEW YORK CITY FIRE CODE (NYC FC)	2022			
NEW YORK CITY ENERGY CONSERVATION CODE (NYC ECC)	2020			
NEW YORK CITY FUEL GAS CODE (NYC FGC)	2022			

LEVEL 2 ALTERATIONS: INTERIOR RENOVATIONS ALLOWING EXISTING C.D.T. PROGRA EXISTING BUILDING IS FULLY EQUIPPED WITH AN AUTOMATIC			C.		
	2022 NYC BC REFERENCE	2022 NYC BC REQUIREMENT	NFPA CODE REFERENCE	2015 NFPA 101 REQUIREMENT	ACTUAL COMPLIANCE
OCCUPANCY CLASSIFICATION	SECTION BC 304.1	EXISTING - EDUCATION GROUP E CHANGED TO - BUSINESS GROUP B	CHAPTER 38	NEW BUSINESS OCCUPANCY	PROJECT AREA WILL COMPLY WITH NYC BC 2022 AND NFPA 2015 REQUIREMENTS
CONSTRUCTION CLASSIFICATION	TABLE 601	TYPE 11A	TABLE A8.2.1.2	TYPE II (111)	COMPLIES
HEIGHT AND AREA LIMITS	TABLE 504.3	85 FEET			
HEIGHT	TABLE 506.2	75.000 SF/STORY	N/A	N/A	EXISTING BUILDING 33' HIGH, 6,455 SF PER STORY, 2
AREA	TABLE 504.4	7 STORIES	14/7	1977	STORY HIGH
NO. OF STORIES					COMPLIES
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS					
PRIMARY STRUCTURAL FRAMING	TABLE 601	1 HOUR	N/A	N/A	COMPLIES
BEARING WALLS					
- INTERIOR	TABLE 601	1 HOUR		1 HOUR	COMPLIES
- EXTERIOR	TABLE 601	1 HOUR		1 HOUR	
NON-BEARING WALLS			TABLE A.8.2.1.2		
- INTERIOR	TABLE 601	0 HOURS		0 HOURS	COMPLIES
- EXTERIOR	TABLE 602	0 HOUR (FIRE SEPARATION GREATER THAN 30 FEET) 1 HOUR (FIRE SEPARATION LESS THAN 30 FEET)		0 HOURS	
STRUCTURAL FRAME					
- COLUMNS AND GIRDERS, BEAMS, TRUSSES AND					
SPANDRELS WITH DIRECT CONNECTIONS TO COLUMNS	N/A	N/A	TABLE A.8.2.1.2	1 HOURS	COMPLIES
AND BRACING DESIGNED TO CARRY GRAVITATIONAL LOADS					
FLOOR & FLOOR/CEILING CONSTRUCTION	TABLE 601	1 HOUR	TABLE A.8.2.1.2	1 HOUR	COMPLIES
ROOF & ROOF CEILING CONSTRUCTION	TABLE 601	1 HOUR	TABLE A.8.2.1.2	1 HOUR	COMPLIES
FIRE SEPARATION ASSEMBLIES					
SHAFT ENCLOSURES	713.4	2-HOUR FIRE RESISTANCE RATING (3+ STORIES OR MORE) 1-HOUR FIRE RESISTANCE RATING (LESS THAN STORIES)	N/A		NOT APPLICABLE - EXISTING RATED SHAFTS CONSTRUCTIO TO REMAIN - NO WORK
STAIR ENCLOSURES	1023.2	1-HOUR FIRE RESISTANCE RATING (<4 STORIES) 2-HOUR FIRE RESISTANCE RATING (4+ STORIES)	7.1.3.2	1-HOUR FIRE RESISTANCE RATING (<4 STORIES) 2-HOUR FIRE RESISTANCE RATING (4+ STORIES)	NOT APPLICABLE - EXISTING RATED STAIR ENCLOSURES T REMAIN - NO WORK
SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY					
CORRIDOR WALLS	TABLE 1020.1.1	O-HOURS FOR BUSINESS OCCUPANCY IF BUILDING IS EQUIPPED WITH AUTO SPRINKLER SYSTEM)	38.3.6.1(3)	0 HR FIRE RESISTANCE RATING FOR BUILDINGS EQUIPPED WITH AN AUTO SPRINKLER SYSTEM	COMPLIES

ITERI	DR FINISHES					
	WALL AND CEILING FINISHES IN CORRIDORS AND ENCLOUSRES FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	TABLE 803.11	CLASS B (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	38.3.3.2.1	CLASS A OR B	COMPLIES
	WALL AND CEILING FINISHES IN INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS.	TABLE 803.11	CLASS B (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	38.3.3.2.1	CLASS A OR B	COMPLIES
	WALL AND CEILING FINISHES IN ROOMS AND ENCLOSED SPACES	TABLE 803.11	CLASS B (FOR BUILDINGS WITH AUO SPRINKLER SYSTEM)	38.3.3.2.2	CLASS A, B OR C	COMPLIES
	NEWLY INSTALLED FLOOR FINISHES	804.4.1	CLASS II	38.3.3.3	INTERIOR FLOOR FINISHES IN EXIT ENCLOSURES, SHALL BE CLASS I OR II	COMPLIES
IAXIM	JM FLOOR AREA ALLOWANCES PER OCCUPANT					
	BUSINESS AREAS	TABLE 1004.1.3	100 GROSS SF	TABLE 7.3.1.2	FOR BUSINESS USE NON CONCENTRATED 100 GROSS SF PER OCCUPANT	COMPLIES
GRES	S WIDTH AND CAPACITY FACTORS					<u>I</u>
	STAIRWAYS	1005.3.1	0.3 INCHES (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	TABLE 7.0.0.4	0.3 INCHES PER OCCUPANT	COMPLIES
	OTHER EGRESS COMPONENTS	1005.3.2	0.2 INCHES (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	TABLE 7.3.3.1	0.2 INCHES PER OCCUPANT	OOWII EIEO
XIT A	CCESS TRAVEL DISTANCE	'		1		
	ANY POINT IN A ROOM TO EXIT	TABLE 1017.2	300' (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	38.2.6	300'	COMPLIES (SEE EXITING PLANS)
	COMMON PATH OF TRAVEL	TABLE 1006.2.1	100' (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	38.2.5.3.1	100'	COMPLIES (SEE EXITING PLANS)
ORRI	DOR WIDTH	'		1		
	MINIMUM CORRIDOR WIDTH	TABLE 1020.2	MINIMUM WIDTH DEPENDENT ON OCCUPANT LOAD BUT NOT LESS THAN 44 INCHES	38.2.3.2	MIN. 44 IN. IN CLEAR AND UNOBSTRUCTED WIDTH SERVICING AN OCCUPANCY LOAD OF 50 OR MORE	COMPLIES
GRES	S DOOR WIDTH					
	MINIMUM DOOR WIDTH	1010.1.1.1	SUFFICIENT FOR OCCUPANT LOADAND SHALL PROVIDE 32 INCHES MINIMUM CLEAR WIDTH	7.2.1.2.3.2	32 IN. MINIMUM CLEAR WIDTH FOR DOORS IN A MEANS OF EGRESS	COMPLIES
EAD I	END CORRIDORS		1	1	1	l
		TABLE 1020.4	50 FEET (FOR BUILDINGS WITH AUTO SPRINKLER SYSTEM)	38.2.5.2.1	50 FEET (FOR BLDGS. WITH AUTO SPRINKLER SYSTEM)	COMPLIES
CEILIN	G HEIGHTS (HEADROOM)					
	- EXIT CORRIDORS	1003.2	NOT LESS THAN 7'-6"	7.1.5.1	NOT LESS THAN 7'-6"	COMPLIES



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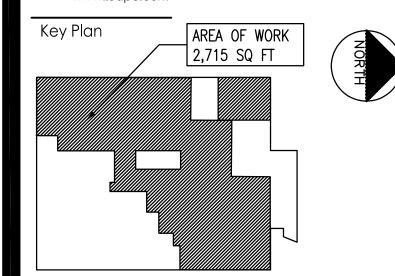
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Revision

By Appd. YY.MM.DD

DOB FILING

OMEGA ENVIRONMENTAL SERVICES

OMH FILING

GM BD 23.10.16

OMH FILING

GM BD 23.05.01

OMH FILING

GM BD 22.12.09

Issued

File Name: 00004B_LSC-100_Code Compliance Plan.dwg

Dwn. Chkd. Dsgn. YY.MM.DD

Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

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SECOND FLOOR
CODE COMPLIANCE PLAN

Project No.

225300004

Scale

AS NOTED

Drawing No.

Sheet

Revision

LSC-100.00 2 of 22

PROJECT SCOPE OF WORK

GENERAL NOTES:

1. WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE DRAWINGS, ALL ADDENDA AND SITE INSTRUCTIONS ISSUED BY THE ARCHITECT.

2. WORK SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, ACCESSIBILITY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL DISCREPANCIES, VARIATIONS, OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO STANTEC ARCHITECTS INC.

3. THE CONTRACTOR SHALL COORDINATE. FILE. OBTAIN, AND PAY FEES FOR BUILDING DEPARTMENT AND OTHER AGENCY APPROVALS, PERMITS, AND INSPECTIONS. COPIES OF TRANSACTIONS ARE TO BE FORWARDED TO THE ARCHITECT AND OWNER PRIOR TO COMMENCING WORK.

4. THE CONTRACTOR SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.

5. ALL CODE REQUIRED EXITS, EXIT LIGHTS, EMERGENCY LIGHTING, ALARMS, SPRINKLERS SHALL BE MAINTAINED IN OPERABLE CONDITION THROUGHOUT THE CONTRACT PERIOD.

6. THE CONTRACT AREA SHALL REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION.

7. ALL WORK SHALL CONFORM TO OWNERS RULES AND REGULATIONS. THE CONTRACTOR SHALL COORDINATE ALL WORK, DELIVERIES AND STORAGE OF MATERIALS WITH THE OWNER INCLUDING ELEVATOR USAGE AND CLEARANCES, LOUD AND DISRUPTIVE NOISE, ACCESS TO THE BUILDING, AND TIMING.

8. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO CONSTRUCTION. STANTEC ARCHITECTURE INC. SHALL BE NOTIFIED OF ALL DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ALL

9. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WHICH IS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. THE CONTRACTOR MUST ASSURE PROPER FIT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT WITH DISCREPANCIES BEFORE COMMENCING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS BEFORE ORDERING EQUIPMENT AND MILLWORK.

10. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.

11. THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF CONSTRUCTION AND SHALL SUBMIT TO THE ARCHITECT A SCHEDULE OF WORK WITHIN TEN DAYS AFTER AWARD OF CONTRACT FOR CONSTRUCTION. THE SCHEDULE SHALL INTEGRATE WORK BY OTHERS AND SHALL BE REISSUED TO THE ARCHITECT

12. SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE REVIEWED. ANY REQUESTS FOR SUBSTITUTIONS SHALL BE CONSIDERED BY STANTEC ARCHITECTS INC. ONLY IF SHOWN TO BE ADVANTAGEOUS TO THE PROJECT. SUBMIT SUPPORTIVE INFORMATION FOR REVIEW.

13. THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF SHOP DRAWINGS, LEAD TIMES AND ORDER DATES. PROGRESS SHALL BE UPDATED BI-WEEKLY OR AS REQUESTED BY OWNER AT CONSTRUCTION MEETINGS, AND DOCUMENTED IN MEETING MINUTES, TO BE PREPARED AND ISSUED BY THE CONTRACTOR.

14. PROTECT THE BUILDING PREMISES AND OCCUPANTS ON PROJECT SITE FROM DAMAGE WITH TEMPORARY PROTECTIVE COVERS AND BARRIERS, DUST

PROOFING, AND ANY ICRA REQUIRED PROTECTION. REPAIR ANY DAMAGE IN KIND AT NO ADDITIONAL COST TO THE PARTY AFFECTED.

15. SUBMIT SHOP DRAWINGS IN ELECTRONIC FORM VIA FTP SITE FOR ALL PRODUCT INFORMATION, CATALOG CUTSHEETS, AND DRAWINGS. ALL REQUIRED PHYSICAL SAMPLES SHALL BE SUBMITTED TO STANTEC ARCHITECTURE INC., AND A MINIMUM OF TWO COPIES OF ALL SAMPLES SHALL BE PROVIDED. STANTEC ARCHITECTURE INC. SHALL HAVE A MINIMUM OF 5 BUSINESS DAYS TO REVIEW ALL SUBMITTALS. UNLESS REQUESTED OTHERWISE BY THE CONTRACTOR AND

16. CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT. THE ARCHITECT SHALL NOT REVIEW ANY SUBMITTAL WITHOUT THE CONTRACTOR'S SIGNED REVIEW STATEMENT.

17. SHOP DRAWING REVIEW IS FOR DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONS, COORDINATION WITH OTHER TRADES, AND MEANS.

18. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR THE COORDINATION OF WORK AND FOR THE WORK PERFORMED BY HIS SUBCONTRACTORS.

19. AT SUBSTANTIAL COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE OWNER FOR THE ON-SITE PUNCHLIST WORK THROUGH.

20. AT THE COMPLETION OF THE WORK, CLEAN ALL SIGHT-EXPOSED SURFACES, AND LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. REMOVE GREASE, DUST, DIRT, STAINS, LABELS, FINGERPRINTS AND OTHER FOREIGN MATERIALS FROM SIGHT-EXPOSED SURFACES. POLISH, PATCH AND TOUCH UP MARRED SURFACES TO SPECIFIED FINISH. CLEAN MECHANICAL EQUIPMENT, DUCT WORK AND REPLACE FILTERS. CLEAN ELECTRICAL WORK INCLUDING LIGHT FIXTURES AND WALL/CEILING DEVICES.

21. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF RECORD DRAWINGS TO THE OWNER AT THE COMPLETION OF WORK.

22. AT PROJECT COMPLETION AND PRIOR TO APPROVAL OF FINAL APPLICATION FOR PAYMENT CONTRACTOR TO DELIVER TO OWNER RECORD MAINTENANCE MANUALS, RECORD SAMPLE SUBMISSIONS, ETC.

23. THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE THE ALTERNATIVE INTO THE WORK. INCLUDE LABOR AND TAX AS A LINE ITEM FOR EACH ALTERNATE TOTAL COST. NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.

CONSTRUCTION NOTES:

1. DIMENSIONS ARE TAKEN TO FINISHED FACE OF GWB, INSIDE FACE OF DOOR/WINDOW JAMBS, TOP OF FINISHED FLOORS, AND BOTTOM OF FINISHED CEILINGS.

2. WHERE A WALL IS SHOWN IN ALIGNMENT WITH MORE THAN ONE COLUMN OR CORE ELEMENT WHICH ARE NOT ALIGNED, THE CONTRACTOR SHALL LAY OUT PARTITIONS ALONG THE ENTIRE LENGTH ALIGNING WITH THE FURTHEST PROJECTION, BUT MUST MAINTAIN ANY "HOLD" DIMENSIONS.

3. BASE BUILDING COLUMN GRIDS ARE SHOWN FOR DIMENSIONING, VERIFY EXACT LOCATIONS IN FIELD.

4. CONTRACTOR SHALL LAY OUT PARTITIONS FOR ARCHITECT TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF STUDS WITHOUT THIS REVIEW APPROVAL. CONTRACTOR SHALL COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT. REVIEW FOR DESIGN INTENT DOES NOT RELEASE CONTRACTOR FROM THE RESPONSIBILITY TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES.

5. CONTRACTOR SHALL FURNISH AND INSTALL FIRE-PROOF BLOCKING IN CEILINGS OR PARTITIONS AS REQUIRED FOR SUPPORT AND ATTACHMENT OF MILLWORK, EQUIPMENT, AND FIXTURES.

6. COORDINATE FINISH WALL DIMENSIONS WITH MILLWORK AND FURNITURE SYSTEM DIMENSIONS AS REQUIRED.

PARTITIONS. CONTRACTOR SHALL COORDINATE DEPTH AND SIZES OF RECESS REQUIRED WITH SPECIFIED EQUIPMENT.

7. NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS UNLESS OTHERWISE NOTED. 8. CONTRACTOR SHALL INSTALL FURRING TO ACCOMMODATE DEPTH OF FIRE EXTINGUISHER CABINETS AND OTHER ITEMS INDICATED ON DRAWINGS AS BUILT INTO GWB

9. CONTRACTOR MUST MAINTAIN ALL BUILDING CONSTRUCTION CLASSIFICATION FIRE RATING. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR MUST REPAIR

SPRAY FIREPROOFING AS REQUIRED TO MAINTAIN REQUIRED RATINGS. 10. INSTALL ALL GWB VERTICALLY WITH NO HORIZONTAL JOINTS BETWEEN THE CEILING AND FLOOR. EDGES SHALL BE SUPPORTED ON FRAMING MEMBERS.

11. FINISH ALL EXPOSED GWB WITH A MULTIPLE STEP (MINIMUM 3) PROCESS AS PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS OR WITH REQUIREMENTS OF GYPSUM ASSOCIATION RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.

12. EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL TRIM. PROVIDE CORNER BEADS ALONG FULL LENGTH OF OUTSIDE CORNERS AND "L" BEADS ALONG EXPOSED EDGES OF GYPSUM BOARD UNLESS OTHERWISE NOTED.

13. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS.

14. PROVIDE REQUIRED GLAZING ACCESSORIES, INCLUDING BUT NOT LIMITED TO GLAZING TAPE, NEOPRENE SETTING BLOCKS, NEOPRENE SPACER SHIMS AND SEALANT.

15. INSTALL GLASS USING FGMA STANDARDS FOR TYPE OF SYSTEM, AND REMOVE ALL NON-PERMANENT LABELS.

BTM BSMT **BASEMENT** CAB **CABINET** CW **CASEWORK** CORNER GUARD CENTER LIN CLG CLOS CLOSET CLR CLEAR COL COLUMN CONC CONCRETE CONST CONSTRUCTION CONT CONTINUOUS CONST CONSTRUCTION JOINT CONTR CONTRACTOR CORR CONTROL JOINT CMU CONCRETE MASONRY UNIT DIA DIAMETER DIM DIMENSION DRINKING FOUNTAIN DTL DETAIL DWG(S) DRAWING(S) 000−0 DOOR OPENING NUMBER — DOOR OPENING NUMBER FRAME TYPE

DOOR TYPE

ROOM TAG

WINDOW TAG

PARTITION TYPE TAG

150 SF

DEMOLITION SHEET NOTE

-GENERAL SHEET NOTE

ABV

ACT

ADA

ADJ

AFF

AΡ

ATTEN

BD

BLDG

BLKG

 $\mathbf{\omega}$

ACOUS

ABOVE

ACOUSTICAL

ADJUSTABLE

ACCESS PANEL

ATTENUATION

ALUMINUM

BOARD

BUILDING

BLOCKING

BOTTOM

ACOUSTICAL CEILING TILE

ABOVE FINISHED FLOOR

AMERICAN WITH DISABILITIES ACT

ELECTRIC WATER COOLER LAVATORY LAV **EXISTING EXTERIOR** LW FOUNDATION MAINT FIRE EXTINGUISHER CABINET MAX **FACTORY FINISH** MDF **FIBERGLASS** MDO FINISH(ED) MDO FLOOR MECH **FLUORESCENT** MEZ FACE OF MIN FIRE RETARDANT TREATED WOOD MFR FOOTING FURRING MP FURNITURE MTD **GALVANIZED** MTL GENERAL CONTRACTOR MWK **GROUND FAULT INTERRUPTER** GAUGE GLASS GLASS REINFORCED GYPSUM NTS GYPSUM WALL BOARD OC HANDICAPPED HOLLOW CORE DOOR **HARDWARE HOLLOW METAL**

EAST

EACH

EQUAL

EXPANSION JOINT

ELECTRICAL PANEL

ELEVATION

EQUIPMENT

EXTERIOR INSULATION FINISH SYSTEM

ETHYLENE PROPYLENE-DIENE MONOMER

EΑ

EIFS

EXP JT

EPDM

EQUIP

EWC

EXIST

EXT

FDN

FEC

FGL

FLUOR

FRTW

FTG

FUR

FURN

GALV

GFI

GRG

GWB

HCD

HDW

EQ

LOW POINT LIGHT WEIGHT MAINTENANCE MAXIMUM MEDIUM DENSITY FIBERBOARD MEDIUM DENSITY OVERLAY MATCH EXISTING MECHANICAL MEZZANINE MINIMUM MANUFACTURER MOISTURE RESISTANT METAL PANEL MOUNTED METAL MILLWORK NORTH NOT IN CONTRACT NUMBER NOT TO SCALE ON CENTER OUTER DIAMETER OPPOSITE HAND

- BLDG SECTION NUMBER

WALL SECTION NUMBER

DRAWING NUMBER

HIGH POINT

HOUSE KEEPING

AIR CONDITIONING

JANITOR'S CLOSET

INSULATION

INTERIOR

HEATING, VENTILATING, &

HOUR

HEIGHT

HSKP

INSUL

REQD RWC SECT SSTL SPEC(S) STD STL STOR STRUCT SVS THK THICK(NESS TLT TOILET TOS TOP OF STEEL TOSL TOP OF SLAB

0PG

OPP

PDR

PLYWD

PSGWY

PRESSURE TREATED PAINT(ED) RADIUS WIN **ROOF DRAIN** REINFORCED REQUIRED RAIN WATER CONDUCTOR SOUTH SECTION STAINLESS STEEL SOLID CORE SIMILAR SPECIFICATION(S) SOLID SURFACE STANDARD STORAGE STRUCTURAL SERVICE TELEPHONE

OVERELOW PIPE

PLASTIC LAMINATE

OPENING

OPPOSITE

POWDER

PLYWOOD

PASSAGEWAY

C

C

VOLT VCT VERIFY IN FIELD WEST W WITH WITHOUT WOOD (SOFT WOOD) WINDOW WATER PROOF(ING) WORK POINT

EXISTING 2' x 4' LIGHT

EXISTING 2' x 2' LIGHT

NEW 2' x 2' LED LIGHT

NEW 2' x 4' LED LIGHT

NEW 2' x 4' LED

EXISTING SUPPLY

NEW/RELOCATED

SUPPLY DIFFUSER

EXISTING RETURN

NEW/RELOCATED

NEW SPRINKLER HEAD (6" MINIMUM

EXISTING SPRINKLER

- EXISTING EXIT SIGN

- NEW SMOKE DETECTOR

- NEW EXIT SIGN

CLEARANCE AROUND

RETURN GRILLE

GRILLE

HEAD)

FIXTURE

DIFFUSER

EMERGENCY LIGHT

FIXTURE

FIXTURE

FIXTURE

TOW

TYP

TEMP TEMPERED UNLESS OTHERWISE NOTED UON VINYL COMPOSITION TILE

TOP OF WALL

TYPICAL

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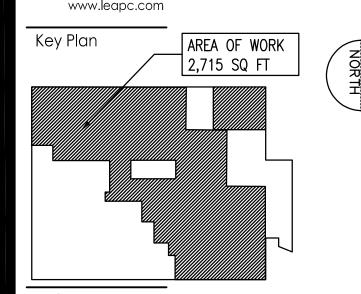
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Notes

Appd. YY.MM.DE Revision

GM BD 23.05.01

GM BD 22.12.09

By Appd. YY.MM.DD

Dwn. Chkd. Dsgn. YY.MM.DD

OMEGA ENVIRONMENTAL SERVICES OMH FILING Issued File Name: 00004B_A-000 - Project Standards.dwa

Permit-Seal

- NEW HEAT DETECTOR

EXISTING LAY-IN CEILING TILE AND **GRID TO REMAIN**

> NEW LAY-IN CEILING TILE AND GRID

NEW EXHAUST DUCT THRU CEILING

10'-0" CEILING HEIGHT ABOVE FINISHED **FLOOR** NEW CURTAIN TRACK

NEW GYPSUM BOARD CEILING

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

TRANSFORMATION GRANT

PROJECT STANDARDS

Project No. Scale 225300004 Revision Drawing No.

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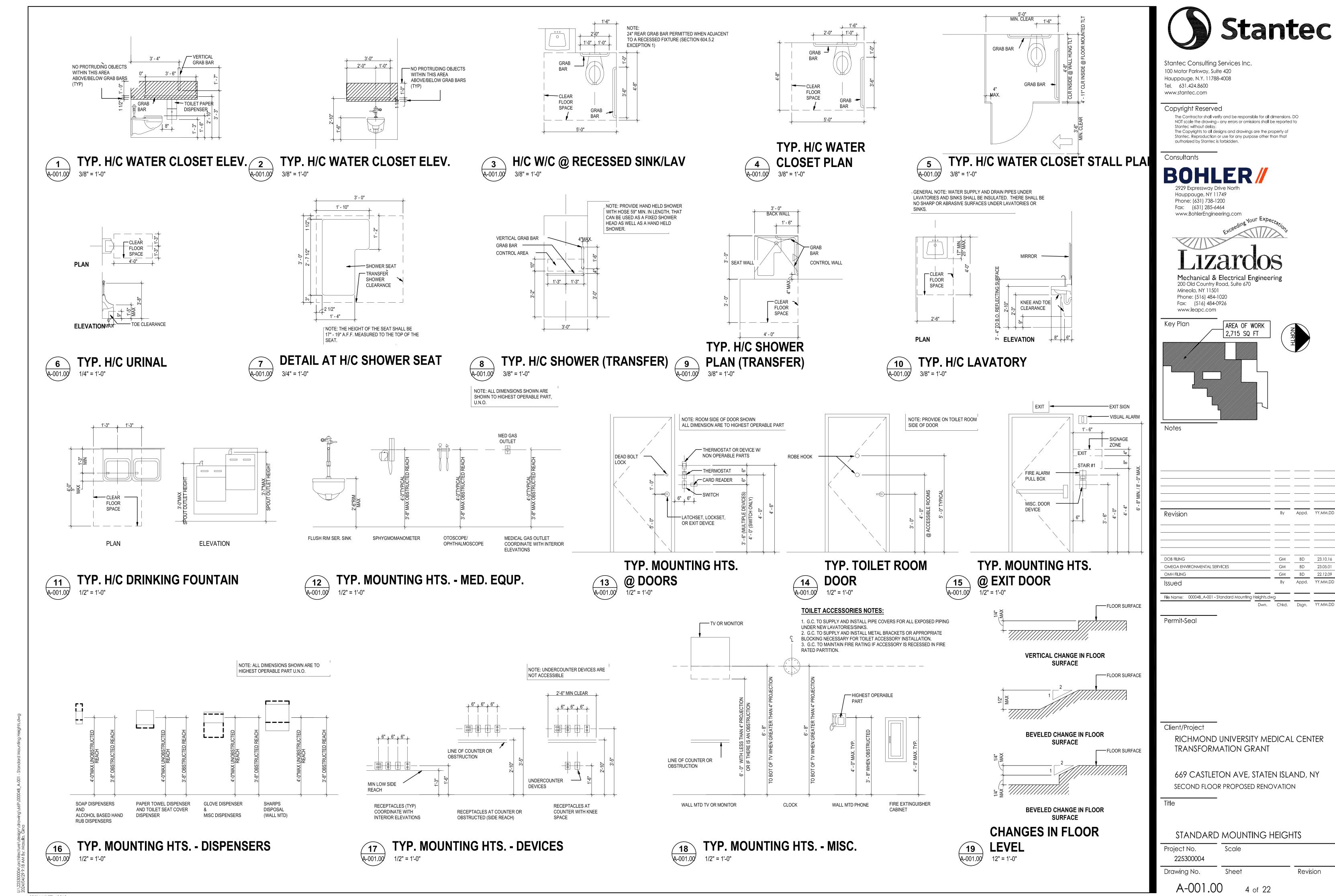
C

DRAWING NUMBER INTERIOR ELEVATION NUMBER DRAWING NUMBER **EXTERIOR ELEVATION** NUMBER -DRAWING NUMBER DETAIL NUMBER OF ENLARGED AREA - DRAWING NUMBER **REVISION AREA** REVISION # **NORTH ARROW** BREAKLINE —— — — MATCH LINE DRAWING REVISION

ORIGINAL SHEET - ARCH D

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER



	FINISH SCHEDULE																				
		T			WALL	TYPE			WALL	FINIS	iH	WAINS	COT	CEIL	LING	DO	OR	CASE	WORK		
								_	_				F		 -				чтор		
NO.	ROOM TITLE		BASE	NORTH	SOUTH	EAST	WEST	NORTH	SOUTH	EAST	WEST	IYPE	HEIGHT	TYPE	HEIGHT	300R FINISH	JAMB FINISH	CABINET	COUNTER	MISCELLANEOUS	NOTES
200	VESTIBULE	CT-1	RWB-1	GYP	GYP	GYP	MAS	P-1	P-1	P-1	_					!		_	_	WIISOLLD WALOOS	NOTES
201	WAITING AREA	LVT-1/3		GYP	GYP	GYP	GYP	-	P-1/3		P-1/3				7'-9"	P-5	+	PL-1/2	_	DPA-2, CB-2/3 ON MILLWORK	SEE NOTE: 4. 6, 14 19
202	OMIT								, ,, ,									, _			·
203	VISITOR TOILET	CT-1	TB-1	GYP	GYP	GYP	GYP	WT1234	WT1234	WT1234	4WT1234			ACT-1	7'-9"	P-5	P-5				SEE NOTE: 5
204	OMIT CIOK MAITING AREA	1) 75 4	DWD 4	0\/D	0)/D	0)/D	0\10	<u> </u>	D 7	5.4	D 4			AOT 4	7' 0"	<u> </u>	5.5			00.4	OFF NOTE 40
205 206	SICK WAITING AREA SHARED RECEPTION	LVT-4 LVT-3	RWB-1	GYP GYP	GYP GYP	GYP GYP	GYP GYP	P-1 P-2	P-3 P-1	P-1 P-1	P-1 P-1			.	7'-9" 7'-7"	P-5 P-5	P-5 P-5	 PL-1	- CC_1	CB-1	SEE NOTE: 12 SEE NOTE: 3,9
207	ADMIN AREA	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.		<u> </u>				.	EXIST.	P-5	-	EXIST.			SEE NOTE. 3,9
208	STAFF LOUNGE	LVT-2	RWB-1	GYP	GYP	GYP	GYP	P-2	 	P-1	P-1			.	7'-9"	P-5	P-5	LXIO1.	LAIST		SEE NOTE: 15
210	TOILET	CT-1	TB-1	GYP	GYP	GYP	GYP	.			1WT1234			.	7'-9"	.	P-5				SEE NOTE: 5
211	STAFF TOILET	CT-1	RWB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1				7'-9"	P-5	P-5				SEE NOTE: 5
212	ANTE	CT-1	RWB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1			ACT-1	7'-9"	P-5	P-5	_	_		
213	CORRIDOR	LVT-1/3	RWB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1				7'-9"			-	_		
214	STAIR	EXISTING	-	GYP	GYP	GYP		EXIST.		_	EXIST.				EXIST.		_	_	_		SEE NOTE: 18
215	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	-	_	_				EXIST.		_				
216	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	-					.	EXIST.	+	_	DI 1	CC 1		CEE NOTE: 15
217 218	EXAM ROOM #1 SOILED	LVT-2 SV-1	RWB-1	GYP GYP	GYP GYP	GYP GYP	GYP GYP	P-1 P-1	P-2 P-1	P-1 P-1	P-1 P-1			.	7'-9" 7'-9"		-	PL-1 PL-1			SEE NOTE: 15
219	CLEAN	SV-1	SVB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1			.	7'-9"	4	-				
220	OMIT	37 1	JVD 1	011	011	011	011	' '	' '	<u> </u>				1	/ 3		1 3	1 - 1	33 1		
221	J.C.	VCT-1	RWB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1			ACT-1	7'-9"	P-5	P-5	_	_		
222	STAFF TOILET	CT-1	RWB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1			.	7'-9"		P-5				SEE NOTE: 5
223	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	EXIST.	EXIST.	EXIST.			EXIST.	EXIST.	EXIST.	EXIST.				
224	LAB	SV-1	SVB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1			.	7'-9"		+	PL-1	SS-1		
225	PATIENT TOILET	CT-1	TB-1	GYP	GYP	GYP	GYP		-		WT1234			!	7'-9"	4					SEE NOTE: 5
226	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	EXIST.	EXIST.	EXIST.			EXIST.	EXIST.	EXIST.	EXIST.				
227 228	OMIT CONFERENCE/GROUP ROOM	LVT-2	RWB-1	GYP	GYP	GYP	GYP	P-2	P-1	P-1	P-1			ACT_1	7'-9"	P-5	P-5				
229	OFFICE	LVT-2	RWB-1	GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-1			.	7'-9"	4	P-5				SEE NOTE: 11
230	CORRIDOR	LVT-1/3		GYP	GYP	GYP	GYP	P-1	P-1	P-1	P-3			.	7'-9"	P-5	+	_	_	DPA-1	SEE NOTE: 14, 19
231	OFFICE	EXISTING		GYP	GYP	GYP	GYP	EXIST.		EXIST.				 	EXIST.	P-5	+				022
232	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	EXIST.	EXIST.	EXIST.			EXIST.	EXIST.	EXIST.	EXIST.				
233	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP		-		EXIST.			+	EXIST.		_				
234	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	-	-	EXIST.			 	EXIST.	1	-				
235	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP		-		EXIST.			 	EXIST.		_				
236	OFFICE	EXISTING	EXIST.	GYP GYP	GYP	GYP	GYP GYP	EXIST.	 	+	EXIST.			EXIST.		+	-				
237 238	OFFICE OFFICE	EXISTING EXISTING	EXIST.	GYP	GYP GYP	GYP GYP	GYP	EXIST.	-		EXIST.			EXIST.	EXIST.		_				
239	OFFICE	EXISTING	_	GYP	GYP	GYP					EXIST.				EXIST.						
240	OFFICE	EXISTING	+	GYP	GYP	GYP		1			EXIST.			t	EXIST.		+				
241	OFFICE	EXISTING	-	GYP	GYP	GYP	GYP			_	EXIST.			•	EXIST.		+				
242	OFFICE	EXISTING	EXIST.	GYP	GYP	GYP	GYP	EXIST.	EXIST.	EXIST.	EXIST.			EXIST.	EXIST.	EXIST.	EXIST.				
243	OFFICE	EXISTING	-	GYP	GYP	GYP	GYP	•	 	_	EXIST.			 	EXIST.						
244	OFFICE	EXISTING	+	GYP	GYP	GYP	GYP				EXIST.			•	EXIST.		+				
245	IT CLOSET	EXISTING	-	GYP	GYP	GYP	GYP			+	EXIST.				EXIST.		_				
246 247	OFFICE OFFICE	EXISTING	+	GYP GYP	GYP GYP	GYP GYP	GYP GYP	.	+		EXIST.			 	EXIST.						
247	OFFICE	EXISTING EXISTING	-	GYP	GYP	GYP	GYP			+	EXIST.			 	EXIST.						
249	CARE MANAGER	EXISTING	+	GYP	GYP	GYP	GYP	.	+		EXIST.			•	EXIST.		+				
250	CORRIDOR	EXISTING	-	GYP	GYP	GYP	GYP	•	 	_	EXIST.	_	_	 	EXIST.			_	_		
251	SUPPLY CLOSET	VCT-1	RWB-1	GYP	GYP	GYP	GYP	•	P-1	_	P-1	_	_	+	7'-9"	1	_	_	_		

		MANUF: PRODUCT: COLOR: SIZE:	MANNINGTON			ALLIED TILE PARAMOUNT WOODGRAINS #AW34 SALEM 2.5 MM 7"x48"
	LVT-3	LUXURY VIN MANUF: PRODUCT: COLOR: SIZE:	MANNINGTON	LVT-4	LUXURY VIN MANUF: PRODUCT:	NYL TILE MANNINGTON
FLOORS	CT-1		LE DALTILE VOLUME 1.0 REVERB ASH VL74 12"x24"	VCT-1	VINYL COMMANUF: PRODUCT: COLOR: SIZE:	TARKETT
	SV-1	SHEET VINY MANUF: PRODUCT: COLOR: SIZE:	'L MANNINGTON BIOSPEC ARMOR #OR113 GOLDEN HARVEST 6' W/HEAT WELD COORD. SEAM:			
	RWB-1	MANUF: JOI STYLE: TYF	PE TP GROUP 1 STANDARD 9 STERLING SILVER CG	RWB-2	OMIT	
BASES	SVB-1			TB-1	TILE BASE MANUF: DAL STYLE: S30 COLOR: 04! SIZE: 6"	619TN 9 OCEAN BLUE
	P-1	FIELD PAIN' MANUF: FINISH: COLOR:	T BENJAMIN MOORE EGGSHELL LOW VOC 1478 HORIZON	P-2	ACCENT PA MANUF: FINISH: COLOR:	INT BENJAMIN MOORE FLAT LOW VOC 2055–40 BAHAMAN SEA BLUE (TEAL)
	P-3	ACCENT PA MANUF: FINISH: COLOR:	INT BENJAMIN MOORE FLAT LOW VOC 797 ATHENS BLUE (BLUE)	P-4	OMIT	
	P-5	TRIM PAINT MANUF: FINISH: COLOR:	DOORS AND FRAMES SHERWIN WILLIAMS SEMI-GLOSS SW7650 ELLIE GRAY	P-6	OMIT	
WALLS	WT-1	PORCELAIN MANUF: STYLE: COLOR: SIZE:	WALL TILE DALTILE COLOR WHEEL CLASSIC 0790 MATTE ARCTIC WHITE 6"x6"	WT-2	PORCELAIN MANUF: STYLE: COLOR: SIZE: NOTE:	WALL TILE DALTILE COLOR WHEEL CLASSICS 1049 OCEAN BLUE 6"x6" RANDOM INSTALLATION 5%
9	WT-3	PORCELAIN MANUF: STYLE: COLOR: SIZE: NOTE:	WALL TILE DALTILE COLOR WHEEL CLASSICS 1174 SEA BREEZE 6"x6" RANDOM INSTALLATION 5%	WT-4	PORCELAIN MANUF: STYLE: COLOR: SIZE:	WALL TILE AMERICAN OLEAN MODERN DIMENSIONS; WAVE 025 ARCTIC WHITE 4"X 12"
NGS	ACT-1	ACOUSTICAL MANUF: STYLE: SIZE: GRID:	CEILING TILE ARMSTRONG WORLD INDUSTRIES CORTEGA #770 SQUARE LAY IN 24"x24"x5/8" WHITE 15/16" PRELUDE			
CEITINGS	P-5	PAINT MANUF: STYLE: FINISH: COLOR: NOTE:	BENJAMIN MOORE ZERO VOC FLAT WHITE GYP. CEILINGS, U.N.O.			
SURFACES	PL-1	PLASTIC LA MANUF: COLOR: FINISH:	MINATE WILSONART BEIGEWOOD 7850—60 MATTE FINISH	SS-1	SOLID SURI MANUF: STYLE: COLOR: FINISH:	FACE CORIAN PRIVATE COLLECTION VENARO WHITE
SUR	PL-2	PLASTIC LA MANUF: COLOR: FINISH:	MINATE WILSONART OCEAN D502K—18 LINERTY FINISH			
		COLOR: FINISH: BRUSHED A	SURFACE MATERITALS DIGITAL IMAGE ON 4 DLY PANELS 24" X 36" SEE NOTE #14 WITH MIRRORFLEX J-TRIM JLUMINUM #CBS5001		COLOR: FINISH: BRUSHED A	SURFACE MATERITALS DIGITAL IMAGE ON 3 OLY PANELS 24" X 36" SEE NOTE #14 WITH MIRRORFLEX J-TRIM ALUMINUM #CBS5001
MISC.	WS-1	WINDOW TR MANUF: STYLE: FINISH:	EATMENT-ROLLER SHADE PEIFFER SHEER WEAVE SERIES 4600 3% OPEN ECRU Q59	CB-1	MANUF: STYLE: IMAGINATION COLOR:	BOARD ALTRO WHITEROCK WHITE BOARD WALL WITH Z-CLIPS OCEAN LIFE 3'X4' RMAZUR@SSTFLOOR.COM
¥	CB-2	COLOR:	BOARD ALTRO WHITEROCK WHITE BOARD WALL WITH 2-CLIPS OCEAN LIFE 2'X3' RMAZUR®SSTFLOOR.COM	CB-3	COLOR:	BOARD ALTRO WHITEROCK WHITE BOARD WALL WITH 2-CLIPS PIRATES 2'X3' RMAZUR@SSTFLOOR.COM
	TR-1	TRIM FOR MANUF: STYLE: #G-833/25	CB-1 ALTRO WHITEROCK START EDGE TRIM	S-1	ROOM SIGN MANUF: STYLE: COLOR:	

#G-833/25 COLOR: WHITE SIZE: 1/2"

LVT-2 LUXURY VINYL TILE

LVT-1 LUXURY VINYL TILE



100 Motor Parkway, Suite 420 Hauppauge, N.Y. 11788-4008 Tel. 631.424.8600

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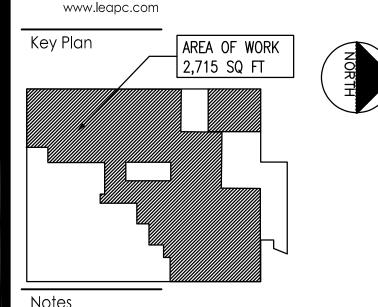
Consultants

2929 Expressway Drive North

Hauppauge, NY 11749 Phone: (631) 738-1200 Fax: (631) 285-6464 www.BohlerEngineering.com



Mechanical & Electrical Engineering 200 Old Country Road, Suite 670 Mineola, NY 11501 Phone: (516) 484-1020 Fax: (516) 484-0926



Revision		Ву	Appd.	YY.MM.DD
_				
DOB FILING			BD	23.10.16
OMEGA ENVIRONMENTAL SERVICES		GM	BD	23.05.01
OMH FILING		GM	BD	22.12.09
Issued		Ву	Appd.	YY.MM.DD
File Name: 00004B_A-002 - Finish Schedule.dwg				
	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Title

ROOM NAMES AND NUMBERS BY OWNER

CONTACT: RED@TAKEFORM.NET

SECOND FLOOR FINISH SCHEDULE & LEGEND

Project No. Scale as noted 225300004 Drawing No. Sheet

5 of 22

NOIE
ACT 1 / 2
SUSPENDED ACOUSTICAL TILE CEILING WILL HAVE
A FLAME SPREAD INDEX OF 25 OR LESS AND A
SMOKE DEVELOPED INDEX OF 30 OR LESS.
<u>RFT</u>
RESILIENT FLOOR TILE IS A CLASS '1' WITH A
_

RADIANT FLUX OF 0.45 WATTS/ CM 2

RUBBER WALL BASE IS A CLASS '1'

251 SUPPLY CLOSET

PLASTIC LAMINATE TO BE CLASS 'B' WITH A FLAME SPREAD INDEX OF 60 AND A SMOKE DEVELOPED INDEX OF 105

<u>ABBREVIATIONS</u>

AT - ACCENT TILE P – PAINT ACT1 - ACOUSTICAL CEILING TILE PL - PLASTIC LAMINATE BG -BUMPER GUARD RFT - RESILIENT FLOOR TILE CMT - CERAMIC MOSAIC TILE RWB - RUBBER WALL BASE CONC. - CONCRETE SS - SOLID SURFACE MATERIAL

VCT-1 RWB-1 GYP GYP GYP P-1 P-1 P-1 P-1

WP - WALL PROTECTION

WT - WALL TILE

CP -ST - STAIN CEILING PAINT CPT -CARPET STLST - STAINLESS STEEL CORNER GUARD SV - SHEET VINYL CR -CRASH RAIL SVCB - SHEET VINYL COVE BASE

INTEGRAL BASE

MATCH EXISTING

EPOXY PAINT TWB - TILE WALL BASE EX -**EXISTING** VCT - VINYL COMPOSITION TILE GWT — GLAZED WALL TILE VET - VINYL ENHANCED TILE GYP. - GYPSUM BOARD VWC - VINYL WALLCOVERING HR -HANDRAIL RWB - RUBBER WALL BASE

NOTE 7: REFER TO FURNITURE AND EQUIPMENT PLAN NOTE 8: PAINT GYP BOARD CEILINGS AT STAIR ALCOVE FLAT WHITE NOTE 9: SEE ELEVATIONS FOR SOFFIT PAINT COLORS NOTE 10: SEE FLOOR FINISH PLAN FOR WALL COVERING ACCENT LOCATIONS. NOTE 11: PAINT BI-FOLD DOORS AND TRANSOME TRIM IN ROOM 229 SEMI-GLOSS WHITE

FINISH NOTES

NOTE 12: PAINT SOFFIT IN AREA #205 P-3 NOTE 13: PAINT ELEVATOR DOORS P-3 NOTE 14: GC TO INCLUDE THE COST OF 2 STRIKE OFFS FOR DIGITAL IMAGE APPROVALS. CONTACT VANESSA ANDERSON - VANESSA@SURFACE MATERIALS.COM FOR ADDITIONAL

- ACT-1 7'-9" P-5 P-5 -

INFORMATION & DIGITAL IMAGE SPECIFICATION NOTE 15: REPLACE WINDOW SILLS WITH SOLID SURFACE MATERIAL SS-1

NOTE 16: PAINT SOFFIT AT RECEPTION P-2 NOTE 17: DPA-1 & DPA-2 TO BE ADHERED DIRECTLY TO WALL

NOTE 18: MATCH EXISTING PAINT AND VCT FLOOR AT AREA OF REFUGE IN STAIR 214.

NOTE 1: ALL FINISHES TO BE CLASS 'A' FIRE RATED.

NOTE 3: REFER TO ENLARGED MILLWORK DRAWINGS.

NOTE 5: REFER TO ENLARGED TOILET PLANS DRAWING.

NOTE 4: REFER TO FLOOR PATTERN AND WALL FINISH PLAN.

NOTE 6: REFER TO INTERIOR ELEVATIONS AND MILLWORK DRAWINGS.

NOTE 2: REFER TO REFLECTED CEILING PLAN.

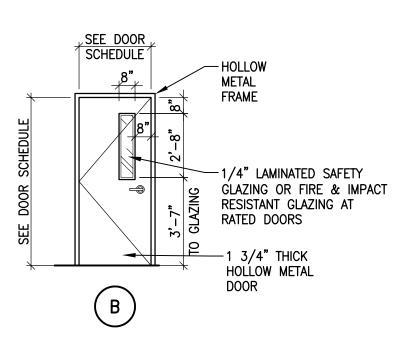
ORIGINAL SHEET - ARCH D

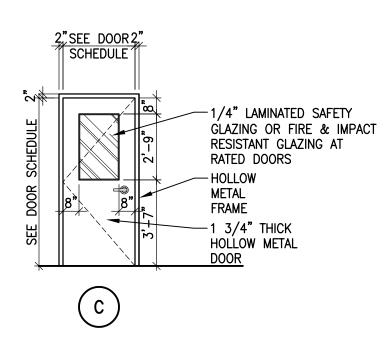
Revision

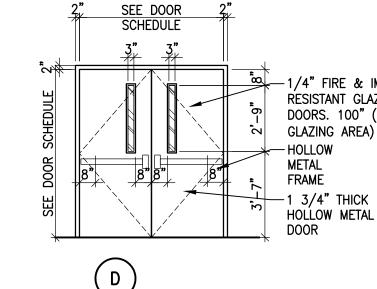
DOOR SCHEDULE

		DOOR					F	RAME	HDWE	LADEL	FINICIA	//CION		THRESH	ВОТТОМ	DEMARKS	DOOF
NO.	FROM ROOM	TO ROOM	SIZE	ELEV.	MAT.	ACTION	MAT.	DET NO.	SET NO.	LABEL	FINISH V	/151UN	CLUSER		CLEAR	REMARKS	NO.
					1.15.4	2 /2002											
	WAITING AREA 201	VISITOR TOILET 203	3'-0" x 7'-0"	Α	HM	S/SWG	HM	H-2/J-2	3.0		P-5		\sim			SEE NOTE: 9,11	-
	CORRIDOR 213	ADMINISTRATION 207	EXISTING		HM	S/SWG	HM	_	7.0		P-5					SEE NOTE: 12	207-1
	ADMINISTRATION 207	STAFF LOUNGE 208	EXISTING	_	HM	S/SWG	НМ	_	8.0		P-5					SEE NOTE: 12	208-1
	CORRIDOR 213	OMH PATIENT TOILET 210	MATCH EXIST.(VIF)		HM ·	S/SWG	НМ	H-2/J-2	3.1		P-5		\sim			SEE NOTE: 5,9,11	
	ANTE RM 212	STAFF TOILET 211	MATCH EXIST.(VIF)		N/A	T.0	НМ	H-3/J-3	3.0		P-5		>>			SEE NOTE: 5,	211–1
212-1	CORRIDOR 213	ANTE RM 212 (STAFF TOIL.)	MATCH EXIST.(VIF)	Α	<u>HM</u>	S/SWG	НМ	H-2/J-2	6.0		P-5		$>\!\!<$			SEE NOTE: 10	212-1
	CORRIDOR 230	STAIR 214	MATCH EXIST.(VIF)	D	HM	PRSWG	НМ	_	11.0	90 MIN.	P-5	> <	$>\!\!<$			SEENOTE:3,4,5,81	
	CORRIDOR 230	OHM OFFICE 215	EXISTING	-	НМ	S/SWG	НМ	_	9.0		P-5					SEE NOTE: 12	215–1
	CORRIDOR 230	OHM OFFICE 216	EXISTING	-	НМ	S/SWG	НМ	_	9.0		P-5					SEE NOTE: 12	216–1
	CORRIDOR 230	EXAM ROOM #1	3'-0" x 7'-0"	Α	НМ	S/SWG	НМ	H-2/J-2	5.0		P-5					SEE NOTE: 12	217–1
	CORRIDOR 230	SOILED 218	3'-0" x 7'-0"	В	НМ	S/SWG	НМ	H-1/J-1	6.0	45 MIN.	P-5	><	\gg			SEE NOTE: 3,8,10	
219-1	CORRIDOR 230	CLEAN 219	3'-0" x 7'-0"	В	НМ	S/SWG	НМ	H-1/J-1	6.0	45 MIN.	P-5	><	$>\!\!<$			SEE NOTE: 3,8,10	0 219-1
221-1	CORRIDOR 230	JANITORS CLOSET	EXISTING	-	НМ	S/SWG	НМ	_	10.0		P-5					SEE NOTE: 10	221-1
222-1	CORRIDOR 230	STAFF TOILET 222	3'-0" x 7'-0"	Α	НМ	S/SWG	НМ	H-2/J-2	6.0		P-5					SEE NOTE: 10	222-1
223-1	CORRIDOR 230	OMH OFFICE 223	EXISTING	-	НМ	S/SWG	НМ	_	9.0		P-5					SEE NOTE: 12	223-1
224-1	CORRIDOR 230	LAB 224	3'-0" x 7'-0"	В	НМ	S/SWG	НМ	H-2/J-2	6.0		P-5	$>\!\!<$				SEE NOTE: 8,10	224-1
225-1	CORRIDOR 230	PATIENT TOILET 225	3'-0" x 7'-0"	Α	НМ	S/SWG	НМ	H-2/J-2	3.0		P-5		$>\!\!<$			SEE NOTE: 9,11	225-1
226-1	CORRIDOR 230	OHM OFFICE 226	EXISTING	_	НМ	S/SWG	НМ	_	9.0		P-5					SEE NOTE: 12	226-1
227-1	CORRIDOR 230	GROUP ROOM	EXISTING	_	НМ	S/SWG	НМ	_	7.0		P-5					SEE NOTE: 12	227-1
228-1	CORRIDOR 230	CONFERENCE 228	3'-0" x 7'-0"	Α	НМ	S/SWG	НМ	H-2/J-2	2.0		P-5					SEE NOTE: 13	228-1
231-1	CORRIDOR 230	OFFICE 231	EXISTING	-	НМ	S/SWG	НМ	_	9.0		P-5					SEE NOTE: 12	231-1
250-1	WAITING ROOM 201	CORRIDOR 250	EXISTING	-	НМ	S/SWG	НМ	_	8.0		P-5					SEE NOTE: 12	250-1
251-1	CORRIDOR 230	ELECTRICAL CLOSET 251	2'-8" x 7'-0"	Α	НМ	S/SWG	НМ	H-2/J-2	1.0		P-5						251-1
252-1	CORRIDOR 230	SUPPLY CLOSET 252	2'-0" x 7'-0"	Α	НМ	S/SWG	НМ	H-2/J-2	1.0		P-5						252-1
								_									

SEE DOOR SCHEDULE -1 3/4" THICK HOLLOW METAL







-1/4" FIRE & IMPACT

FRAME

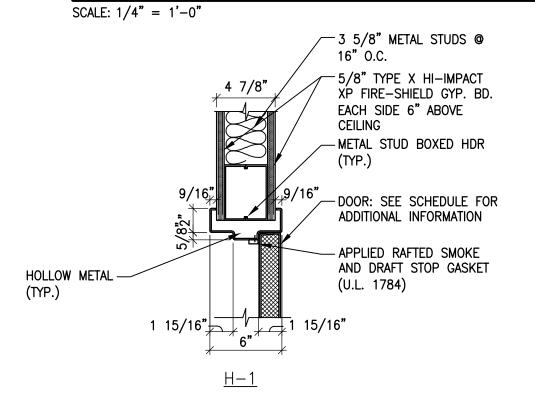
DOOR

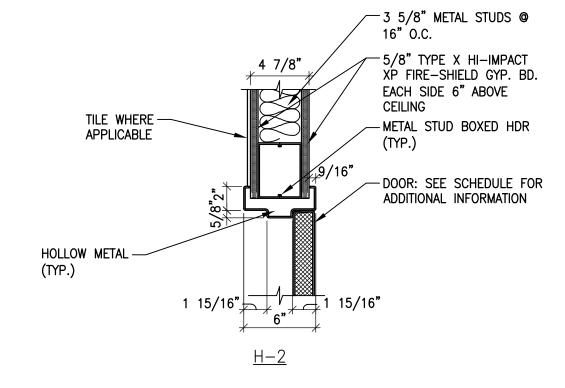
HOLLOW METAL

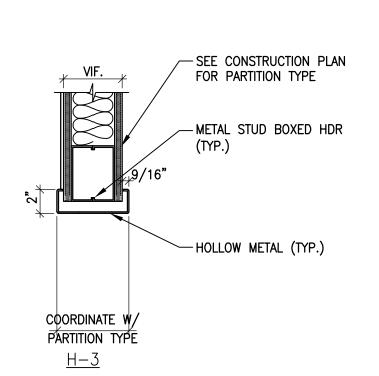
RESISTANT GLAZING AT RATED DOORS. 100" (MAX EXPOSED

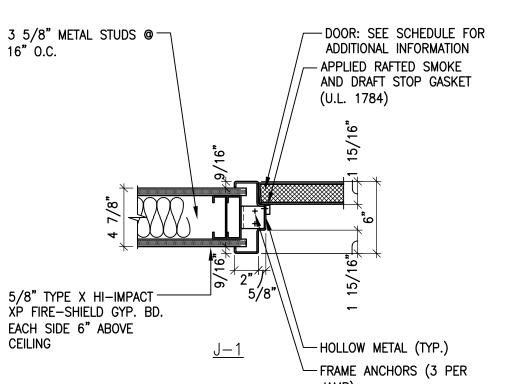
GLAZING AREA) PER LIGHT.

DOOR TYPE ELEVATIONS

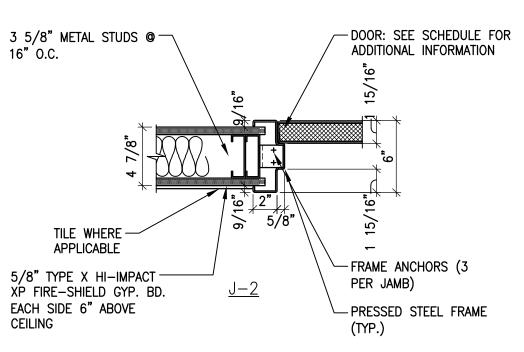


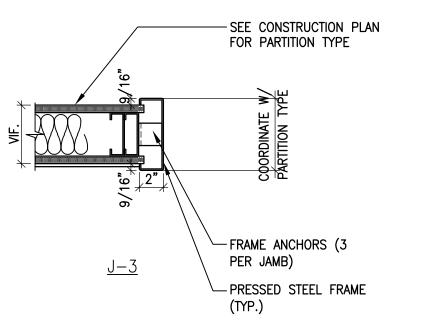


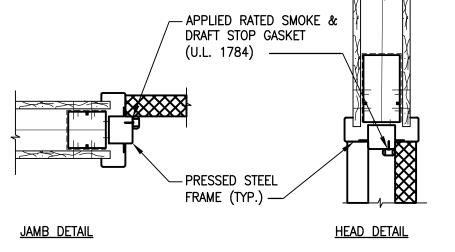


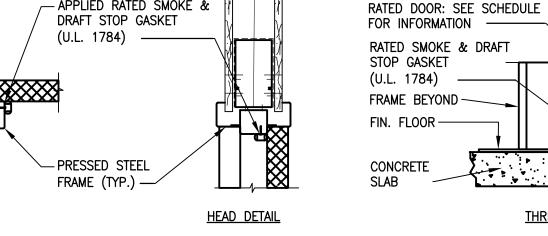


INTERIOR DOOR DETAILS









DOOR SCHEDULE NOTES:

- 1. SEE EXTERIOR/INTERIOR DOOR ELEVATIONS.
- 2. OMIT
- 3. FIRE RESISTANT CORE DOOR.
- 4. RATED SMOKE & DRAFT STOP GASKET.
- 5. VERIFY IN FIELD.
- 6. OMIT
- 7. OMIT
- 8. VISION PANELS IN NON-RATED DOORS & PARTITIONS TO BE 1" IMPACT RATED SAFETY GLAZING AND FIRE & IMPACT RATED SAFETY GLAZING IN RATED DOORS AND PARTITIONS.
- 9. ALL PATIENT TOILET DOORS SHALL HAVE HARDWARE THAT PERMITS EMERGENCY ACCESS FROM THE OUTSIDE.
- 10. PROVIDE KEY-PAD LOCKS.
- 11. EMERGENCY RESCUE HARDWARE KIT (INCLUDE GASKETING FOR PRIVACY).
- 12. NEW LOCKSET ONLY. WITH A MASTER KEY.
- 13. NEW LOCKSET WITH DIFFERENT MASTER KEY.
- 14. NEW DOOR HARDWARE. EXISTING FRAME TO BE MODIFIED.

RATED GLAZING (FRG)

DOOR SCHEDULE GENERAL NOTES:

1. DOORS, FRAMES AND HARDWARE TO BE

FURNISHED AND INSTALLED BY G.C.

PRIOR TO UNDERCUTTING).

DOORS AND FRAMES.

GLAZING REQUIREMENTS:

2. ALL DOORS SHALL BE 1-3/4 INCH THICK U.O.N.

(UNDERCUT TO CLEAR FINISHED FLOOR BY $\frac{1}{4}$ ":

VERIFY THICKNESS OF FLOOR FINISH MATERIAL

4. DOOR GLASS SAFETY SHALL BE 1/4 INCH CLEAR

5. CAULK AROUND ALL DOOR FRAMES BOTH SIDES.

6. REFER TO SPECIFICATION SECTION 087100 FOR

DOOR HARDWARE SETS AND SPECIFICATIONS

7. REFER TO SPECIFICATION SECTION 0811113 FOR

ADDITIONAL INFORMATION ON HOLLOW METAL

ALL DOOR & SIDELITE GLAZING SHALL BE 1/4" UNO

ALL INTERIOR PARTITION OR SIDELITE GLAZING SHALL

BE IMPACT RATED LAMINATED SAFETY GLASS (LSG)

GLAZING IN FIRE RATED DOORS SHALL BE 3/6" FIRE

ALL DOOR GLAZING SHALL BE IMPACT RATED

LAMINATED SAFETY GLASS (LSG) UNO

LAMINATED GLASS EXCEPT IN FIRE RATED DOORS.

3. UNDER CUT DOOR 1/2 INCH TYPICAL U.O.N.

DOOR SCHEDULE LEGEND: ACTION: FL – FLUSH S/SWG SINGLE SWING 2FL - TWO FLUSH PANELS PR/SWG PAIR SWING DOORS NL - NARROW LITE 2NL - TWO NARROW LITE PANELS OP/SWG OPPOSING SWING DOORS HOLLOW METAL T.0. TRIMMED OPENING WD WOOD ΕX **EXISTING** PLAM - PLASTIC LAMINATE SLIDING ALUMINUM

MATERIAL:

GLASS

SLIDER

GL

CSL

FINISHES: WOOD DOOR P-LAM PLASTIC LAMINATE GLS GLASS HOLLOW METAL НМ ALUM ALUMINUM NOTE: SEE FINISH SCHEDULE FOR DETAILS

RATED SMOKE & DRAFT

THRESHOLD DETAIL

STOP GASKET

(U.L. 1784) FRAME BEYOND

CONCRETE

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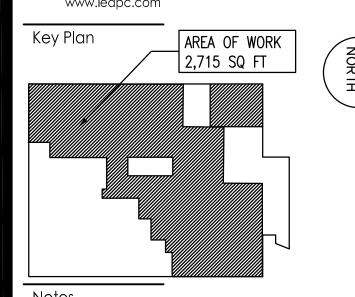
2929 Expressway Drive North

Hauppauge, NY 11749 Phone: (631) 738-1200 Fax: (631) 285-6464 www.BohlerEngineering.com



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Revision Appd. YY.MM.D GM BD 23.05.01 OMEGA ENVIRONMENTAL SERVICES GM BD 22.12.09 By Appd. YY.MM.DD Issued File Name: 00004B_A-003 - Door Schedule And Details.dwg Dwn. Chkd. Dsgn. YY.MM.DD

Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Title

SECOND FLOOR DOOR SCHEDULE AND DETAILS

Scale Project No. AS NOTED 225300004 Sheet Revision Drawing No.

SCALE: $1 \frac{1}{2} = 1'-0''$ ORIGINAL SHEET - ARCH D

TAG NUMBER DESCRIPTION LOCATION MANUFACTURER MODEL NO. WOLL NO. WAS A SUPPLIED BY INSTALLED BY UTILITIES BY REMARKS 1 DESKTOP COMPUTER 206 3 2 1 0 0WNER OWNER CONTRACTOR 3 OMIT 3 OMIT 4 PHONE 206 206 3 2 1 0 0WNER OWNER CONTRACTOR 5 EXAM ROOM COMPUTER (WALL MOUNT) 217 ERGOTRON # 45-619-251 1 1 1 0 0WNER OWNER CONTRACTOR 5 EXAM ROOM COMPUTER (WALL MOUNT) 217 ERGOTRON # 45-619-251 1 1 1 0 0WNER OWNER CONTRACTOR WITH ADJUSTABLE ARM; PROVIDE BLOCKING 6 WALL PHONE 206/217 2 2 2 0WNER OWNER CONTRACTOR OWNER CONTRACTOR OWNER CONTRACTOR 7 EXAM TABLE 217 CLINTON INDUSTRIES # 8890 1 1 1 31" 58"-72" 28.5" OWNER OWNER CONTRACTOR OWNER OWNER CONTRACTOR OWNER OWNER CONTRACTOR NOTE: MILLWORK COUNTER IS DEEPER TO ACCOMD	
OMIT	
3 OMIT	
4 PHONE 206 3 2 1 OWNER OWNER CONTRACTOR 5 EXAM ROOM COMPUTER (WALL MOUNT) 217 ERGOTRON # 45-619-251 1 1 1 0WNER OWNER CONTRACTOR WITH ADJUSTABLE ARM; PROVIDE BLOCKING 6 WALL PHONE 208/217 2 2 0WNER OWNER CONTRACTOR 7 EXAM TABLE 217 CLINTON INDUSTRIES # 8890 1 1 3 1" 58"-72" 28.5" OWNER OWNER CONTRACTOR 8 OMIT 0WNER CUITON INDUSTRIES # 7830 1 1 36" 43" 24" OWNER OWNER CONTRACTOR	
S	
6 WALL PHONE 208/217	
7) EXAM TABLE 217 CLINTON INDUSTRIES # 8890 1 1 31" 58"-72" 28.5" OWNER OWNER CONTRACTOR (8) OMIT CLINTON INDUSTRIES # 7830 1 1 36" 43" 24" OWNER OWNER OWNER CONTRACTOR	
8 OMIT 9 PEDIATRIC SCALE 217 CLINTON INDUSTRIES # 7830 1 1 36" 43" 24" OWNER OWNER CONTRACTOR	
9 PEDIATRIC SCALE 217 CLINTON INDUSTRIES # 7830 1 1 36" 43" 24" OWNER OWNER CONTRACTOR	
THE TOTAL TO	DATE
(1) UNDERCOUNTER MED FREEZER 219 HELMER # ILF 105 GX 1 1 1 31.9" 24.3" 28.4" OWNER OWNER CONTRACTOR NOTE: MILLWORK COUNTER IS DEEPER TO ACCOMO	
(12) VITAL SIGN 217 1 1 1 OWNER CONTRACTOR	
(13) WALL TRANSFORMER 217 WELCH ALLYN GREEN SERIES 777 1 1 9.2" 8" 4.8" OWNER OWNER CONTRACTOR PROVIDE BLOCKING	
(14) T.V. 201 LG 43" TV 1 1 22.5" 38.3" 3.3" OWNER OWNER CONTRACTOR PROVIDE BLOCKING - RUMC STANDARD WITH ADJ.	BRACKET
(15) OMIT	
(i) CENTRIFUGE 221 1 1 1 OWNER CONTRACTOR	
1 NEBULIZER 221 OWNER CONTRACTOR	
18 PEAK FLOW METER OWNER OWNER CONTRACTOR	
(19) GLUCOMETER 221 OWNER OWNER CONTRACTOR	
② AED DEFIBRILLATOR 219 1 1 1 OWNER OWNER PROVIDE BLOCKING	
(2) SCALE (W/ HEIGHT) 217 DETECTO-SONARIS 1 1 1 OWNER OWNER	
② SHARPS CONTAINER 217/218/219/221 4 4 0WNER OWNER	
24 SPECIMEN PASS THRU 221 TO 224 BRADLEY 9813 1 1 1 CONTRACTOR CONTRACTOR —	
(25) SCANNER OWNER CONTRACTOR	
26 REFRIGERATOR OWNER OWNER CONTRACTOR NO WATER LINE REQ'D	
(27) TOASTER 208 1 1 1 OWNER OWNER CONTRACTOR	
28 COFFEE MAKER 208 1 1 1 OWNER CONTRACTOR	
© COUNTER MOUNTED EYE WASH 221 BRADLEY S19-460EFW 2 2 CONTRACTOR CONTRACTOR CONTRACTOR SEE PLUMBING ENGINEERING DRAWINGS	
(3) LABEL PRINTER 221 1 1 OWNER CONTRACTOR	
(3) MICROWAVE 208 1 1 1 OWNER CONTRACTOR ON MILLWORK SHELF ABOVE COUNTER	
33 TV 205 LG 32" TV 1 1 17.4" 29.1" 3.3" OWNER OWNER CONTRACTOR PROVIDE BLOCKING - RUMC STANDARD WITH ADJ.	BRACKET

- 1: CONTRACTORS TO COORDINATE EQUIPMENT REQUIREMENTS AND LOCATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS PRIOR TO INSTALLATION.
- 2: ALL LOCATIONS OF EQUIPMENT TO BE COORDINATED WITH OWNERS PRIOR TO INSTALLATION.
- 3. PHONE, DESKTOP COMPUTER AND LAPTOP COUNTS NEED TO BE VERIFIED WITH OWNER.



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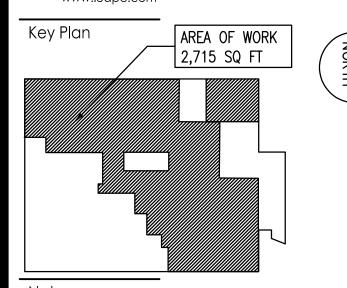
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By Appd. YY.MM.DD Revision
 GM
 BD
 23.10.16

 GM
 BD
 23.05.01

 GM
 BD
 22.12.09

 By
 Appd.
 YY.MM.DD
 OMEGA ENVIRONMENTAL SERVICES OMH FILING Issued File Name: 00004B_A-004 - Equipment Schedule.dwg

Dwn. Chkd. Dsgn. YY.MM.DD

Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

SECOND FLOOR EQUIPMENT SCHEDULE

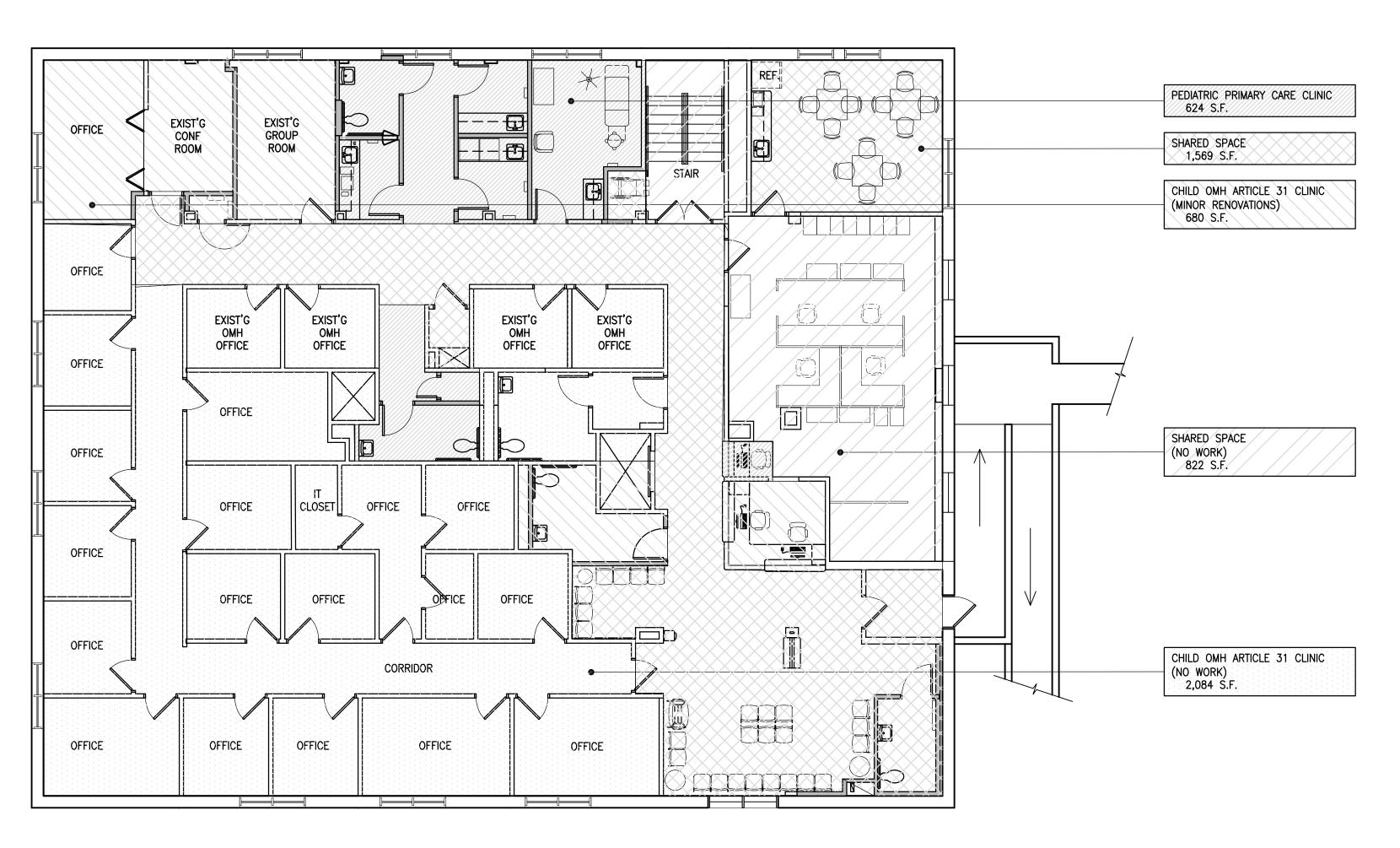
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Revision

ORIGINAL SHEET - ARCH D

A-004.00 7 of 22



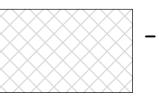
SECOND FLOOR KEY PLAN

SCALE: 1/16" = 1'-0"

LEGEND:



- PEDIATRIC PRIMARY CARE CLINIC 624 S.F.



- SHARED SPACE 1,569 S.F.



- CHILD OMH ARTICLE 31 CLINIC (MINOR RENOVATIONS) 680 S.F.

SUBTOTAL SCOPE OF WORK S.F. IMPACTED: 2,873 S.F.



- CHILD OMH ARTICLE 31 CLINIC (NO WORK) 2,755 S.F.

TOTAL SQUARE FOOTAGE: 6,450 S.F.



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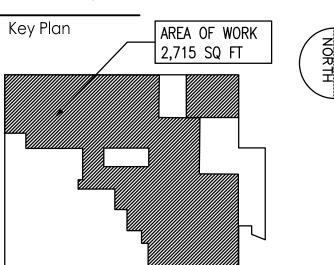
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Revision			Appd.	YY.MM.DE
DOB FILING				23.10.16
OMEGA ENVIRONMENTAL SERVICES OMH FILING		<u>GM</u> GM	BD BD	23.05.01
Issued	,	Ву	Appd.	YY.MM.DD
File Name: 00004B_A-005 - Key Plan.dwg	Dwn.	Chkd.	Dsgn.	YY.MM.DD

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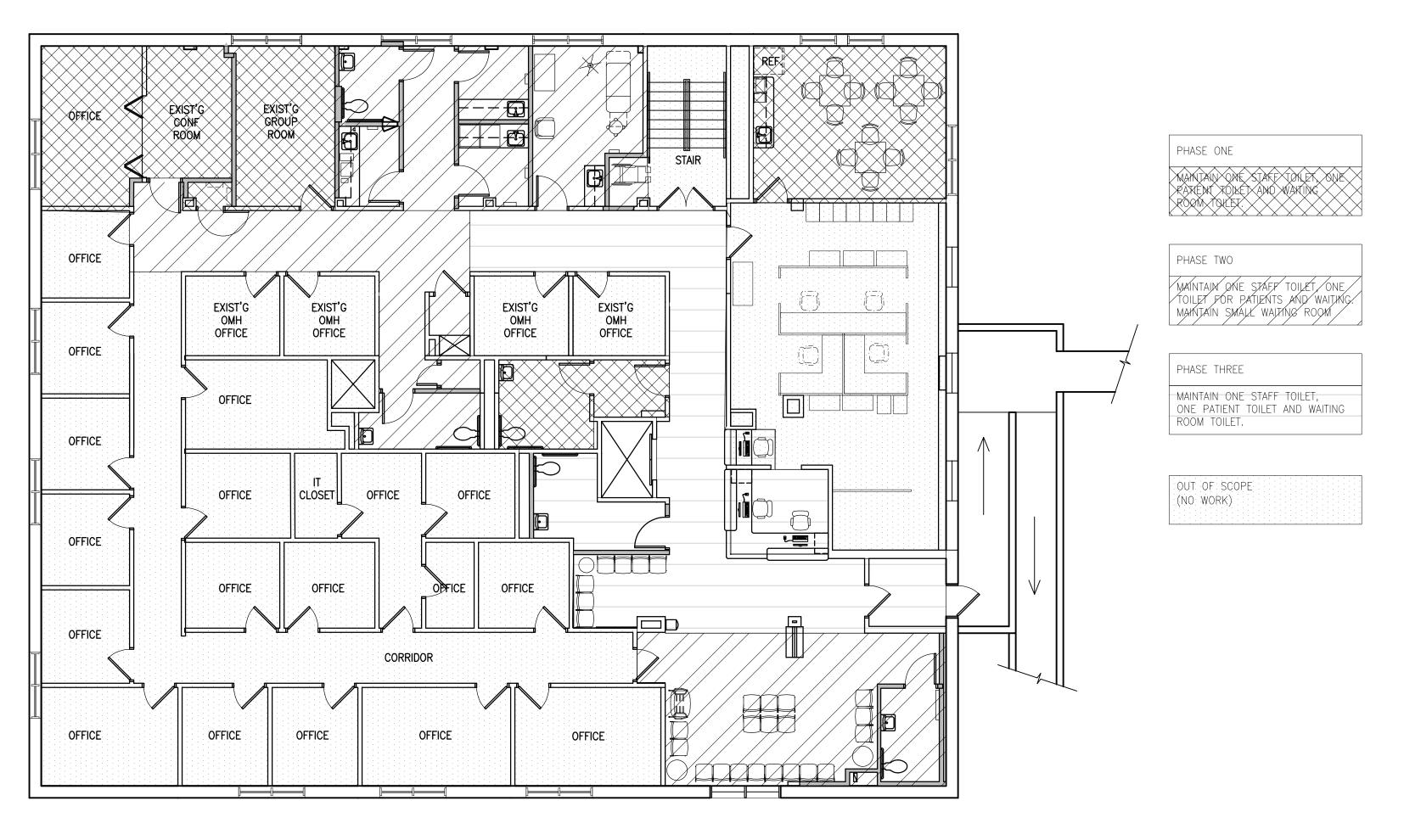
Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION AGRAIRAINT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

BUILDING KEY PLAN

Project No. 225300004	Scale	
Drawing No.	Sheet	Revision
A-005	8 of 22	



SECOND FLOOR PHASING PLAN

SCALE: 1/16" = 1'-0"

1. GC TO PROVIDE TEMPORARY DOOR HARDWARE DURING PHASING AT TOILET ROOMS. PROVIDE PRIVACY LOCKING HARDWARE TO CONVERT MULTI-USE TOILETS TO SINGLE USE.



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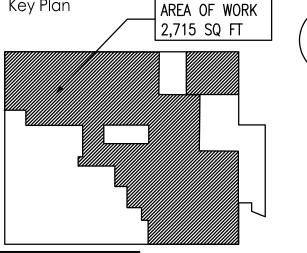
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Key Plan



Revision		Ву	Appd.	YY.MM.DD
DOB FILING		 	 	23.10.16
OMEGA ENVIRONMENTAL SERVICES		GM	BD	23.05.01
OMH FILING		GM	BD	22.12.09
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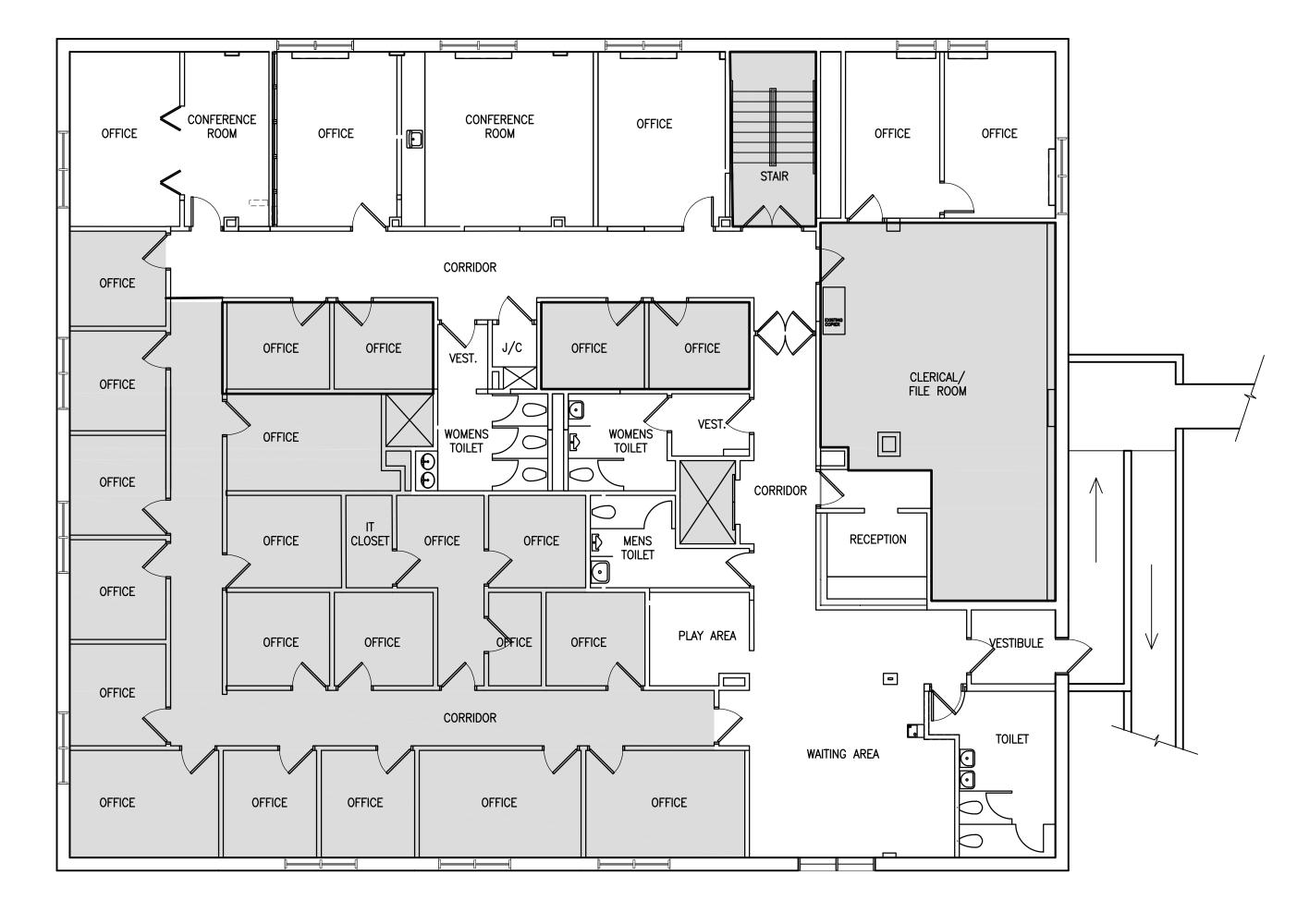
RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION AGRAIRAINT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

PHASING PLAN

Project No. 225300004 Sheet Revision Drawing No.

9 of 22



SECOND FLOOR EXISTING CONDITIONS

OUT OF SCOPE

RUMC INTEGRATED OUTPATIENT SERVICES (IOS) EXTENSION CLINIC REGULATIONS

1. PARKING OF CONTRACTOR'S VEHICLES IN THE FACILITY PARKING LOTS IS BY PERMIT ONLY. PERMITS WILL BE issued by the facility's plant engineering/security department. Permits shall be posted on the driver's WINDOW, LOWER LEFT-HAND CORNER AT ALL TIMES WHILE ON SITE. PARKING OF CONTRACTOR'S VEHICLES WILL BE RESTRICTED TO AREAS SPECIFICALLY DESIGNATED BY THE FACILITY.

TRUCKS WILL BE PERMITTED IN THE LOADING/UNLOADING AREAS FOR THE SOLE PURPOSE OF MAKING DELIVERIES OR REMOVING MATERIAL(S). VEHICLE(S) MUST LEAVE THE LOADING/UNLOADING AREA(S) AS SOON AS SUCH PURPOSE IS COMPLETED, OR AS DIRÈCTED BY THE FACILITY PLANT ENGINEERING DEPARTMENT.

STORAGE OF ANY MATERIALS IN THE PARKING OR LOADING AREAS IS <u>PROHIBITED</u>, EXCEPT BY SPECIFIC PERMISSION GRANTED BY THE PLANT ENGINEERING DEPARTMENT.

2. CONTRACTOR EMPLOYEES ARE <u>PROHIBITED</u> FROM PARKING PERSONAL VEHICLES IN ANY OF THE STAFF OR VISITORS PARKING LOTS, AND WILL BE RESTRICTED TO THE AREA(S) SPECIFICALLY DESIGNATED FOR SUCH PURPOSES BY THE FACILITY. THE FACILITY SECURITY DEPARTMENT WILL TOW VEHICLES AWAY WHICH ARE NOT AUTHORIZED TO PARK IN DESIGNATED AREA(S) AT CONTRACTOR'S OWN EXPENSE.

3. CONTRACTOR EMPLOYEES SHALL ONLY ENTER AND EXIT THE FACILITY THROUGH THE CONSTRUCTION ENTRANCE DESIGNATED BY THE FACILITY.

4. CONTRACTOR EMPLOYEES SHALL NOT USE THE FACILITY CAFETERIAS.

5. SMOKING IS <u>Prohibited</u> in all areas of the facility, including: roofs, work areas and exterior GROUNDS. SMOKING WILL BE PERMITTED AT EXTERIOR GROUNDS IN DESIGNATED AREAS ONLY.

6. CONSTRUCTION LITTER FROM BREAKFAST, LUNCHES, BREAKS, ETC. MUST BE CLEANED UP AND DISPOSED OF IMMEDIATELY BY EACH RESPECTIVE CONTRACTOR.

7. NO ALCOHOLIC BEVERAGE(S) INCLUDING BEER AND WINE MAY BE BROUGHT ONTO FACILITY GROUNDS. CONSUMPTION OF ALCOHOLIC BÉVERAGES IS <u>PROHIBITED</u> ON FACILITY PREMISES.

8. CONTRACTOR EMPLOYEES SHALL NOT USE ANY FACILITY TOILET OR WASHROOM FACILITIES OTHER THAN THOSE WHICH HAVE BEEN SPECIFICALLY DESIGNATED FOR THEIR USE BY THE FACILITY. THE DESIGNATED FACILITIES MUST BE PROPERLY MAINTAINED, OR ANY COST INCURRED BY THE FACILITY WILL BE CHARGED TO THE CONTRACTOR'S ACCOUNT. THE FACILITY RESERVES THE RIGHT TO ELIMINATE THE USE OF EXISTING TOILET FACILITIES AT ANY TIME, IN WHICH CASE THE CONTRACTOR WOULD BE RESPONSIBLE TO PROVIDE ON—SITE MOVEABLE SANI—TOILET FACILITIES AT THEIR OWN

9. PASSENGER ELEVATORS SHALL NOT BE USED BY CONTRACTOR EMPLOYEES AT ANY TIME. PASSENGER ELEVATORS SHALL NOT BE USED TO TRANSPORT MATERIAL(S) OR EQUIPMENT AT ANY TIME. THE FACILITY WILL ALLOW A DESIGNATED SERVICE ELEVATOR TO BE USED BY THE CONTRACTOR AND THEIR EMPLOYEES. AUTHORIZATION SHALL BE GRANTED PRIOR TO USE OF THE SERVICE ELEVATOR BY THE PLANT ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL EXERCISE CARE AND PROTECT EXISTING EQUIPMENT. AS NOT TO INCUR DAMAGE. IN THE EVENT OF AN ACCIDENTAL DAMAGE TO THE SERVICE FLEVATOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR WORK INCURRED BY THE FACILITY. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO NOT OVERLOAD THE SERVICE ELEVATOR, AND LOADING PARAMETERS SHALL BE REVIEWED WITH PLANT ENGINEERING STAFF PRIOR TO USING

10. MATERIALS BEING DELIVERED FOR WORK WITHIN THE FACILITY MUST BE RECEIVED AND ACCEPTED BY AN EMPLOYEE OF THE CONTRACTOR (WITH TYPICAL SIGN-OFF PROCEDURES). FACILITY PERSONNEL WILL NOT ACCEPT ANY DELIVERY FOR ANY REASON. THE MATERIALS(S) MAY BE STORED ONLY IN A SPACE ASSIGNED OR DESIGNATED BY THE IOS EXTENSION CLINIC. STORAGE OF MATERIAL(S) SHALL BE COORDINATED WITH THE FACILITY'S PLANT ENGINEERING DEPARTMENT. MATERIALS STORED ON FACILITY GROUNDS SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT ALL TIMES, UNTIL FINAL INSTALLATION AND ACCEPTANCE BY THE FACILITY. (THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR REPLACEMENT OF MATERIALS WHICH ARE VANDALIZED, STOLEN, BROKEN, ETC.)

11. NO ELECTRICAL EQUIPMENT SHALL BE CONNECTED BY THE CONTRACTOR OR THEIR EMPLOYEES TO IOS EXTENSION CLINIC OUTLETS/SERVICE(S) WITHOUT PERMISSION FROM THE FACILITY.

12. ALL HAND TRUCKS, DOLLIES, ETC. MUST HAVE RUBBER TIRED WHEELS. ROLLING THROUGH THE PUBLIC areas of the facility is prohibited.

13. ALL TEMPORARY PROTECTION SUCH AS: TARPAULINS, DROP CLOTHS, SCAFFOLDING, ETC. MUST BE FIREPROOF. THE CONTRACTOR SHALL BE PREPARED TO SHOW PROPER PAPERWORK, CERTIFICATES, ETC., ATTESTING THERETO UPON

14. NO GASOLINE POWERED ENGINES OR POWERED EQUIPMENT, WITH THE EXCEPTION OF CARS, TRUCKS/VEHICLES, SHALL BE ALLOWED TO BE BROUGHT ONTO FACILITY PREMISES WITHOUT THE NECESSARY APPROVAL

15. NO GASOLINE OR OTHER FLAMMABLE LIQUIDS OR MATERIALS MAY BE STORED WITHIN THE CONFINES OF FACILITY PROPERTY WITHOUT THE WRITTEN CONSENT OF THE FACILITY.

16. NO MORE THAN ONE (1) DAY'S SUPPLY OF OIL PAINT, URETHANE OR OTHER FLAMMABLE/COMBUSTIBLE LIQUIDS WHICH HAVE BEEN UNSEALED ARE PERMITTED AT THE WORK SITE, FLAMMABLES SHALL BE STORED IN A FIRE-RATED AND VENTILATED CABINET, SPACE/AREA. THE LOCATION OF ALL FLAMMABLES SHALL BE COORDINATED WITH THE FACILITY'S PLANT ENGINEERING DEPARTMENT.

17. NO BURNING, CUTTING/SOLDERING, BRACING AND WELDING, OR GAS-FIRED EQUIPMENT SHALL BE USED WITHOUT THE PROPER FIRE WATCH CONTINUALLY AVAILABLE AT THE SCENE OF WORK FROM START TO COMPLETION OF OPERATIONS. ONLY PERSONNEL WITH A VALID LICENSE OR CERTIFICATION SHALL BE ALLOWED TO OPERATE SUCH EQUIPMENT. PERSONNEL DOCUMENTATION AND CERTIFICATION SHALL BE SUBMITTED AT THE BEGINNING OF THE PROJECT TO THE PLANT ENGINEERING DEPARTMENT FOR RECORD KEEPING. THE FACILITY'S PLANT ENGINEERING DEPARTMENT SHALL BE NOTIFIED OF ANY AND ALL BURNING AND WELDING TWENTY—FOUR (24) HOURS IN ADVANCE. ALL WELDING CHAINED/PROTECTED, AND A MINIMUM OF TWO (2) TEN POUND EXTINGUISHERS MUST BE PRESENT ON SITE AT ALL

18. ALL COMBUSTIBLE RUBBISH MUST BE REMOVED DAILY FROM THE PREMISES BY CONTRACTOR. OTHER RUBBISH MUST BE REMOVED FREQUENTLY (A MINIMUM OF ONCE DAILY, OR TO THE SATISFACTION OF THE FACILITY). the Rubbish Will be piled only in areas of the work site as designated by the facility. All work aréas MUST BE KEPT MINIMALLY BROOM CLEAN. CONTRACTORS WILL NOT USE THE FACILITY'S RUBBISH CONTAINERS. AND MUST SUPPLY THEIR OWN. ONLY UPON WRITTEN CONSENT FROM THE PLANT ENGINEERING DEPARTMENT SHALL A CONTRACTOR BE ALLOWED TO UTILIZE FACILITY CONTAINERS.

23. EXCEPT BY SPECIAL PERMISSION OF THE FACILITY, ALL WORK MUST BE DONE DURING REGULAR WORKING HOURS AND WORK DAYS. WORK MAY NOT BE PERMITTED IN CERTAIN AREAS DUE TO THE NATURE OF FACILITY BUSINESS. WORKING HOURS ARE FROM 8:00 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY. SPECIFIC HOLIDAYS WHICH FALL ON SATURDAY OR SUNDAY ARE LEGALLY CELEBRATED ON FRIDAY OR MONDAY. SPECIAL PERMISSION TO WORK ON HOLIDAYS OR DURING HOURS OTHER THAN THE REGULAR FACILITY WORKING HOURS MUST BE REQUESTED AT LEAST ONE WEEK IN ADVANCE OF THE DAY WORK IS INTENDED TO BE DONE, SUCH PERMISSION WILL ONLY BE GRANTED IN CASES NOT IN CONFLICT WITH SECURITY AND OPERATIONAL REQUIREMENTS OF THE FACILITY.

24. THE CONTRACTOR SHALL PROVIDE FIRE SUPPRESSION EQUIPMENT AT IMMEDIATE WORK SITE, AS PER OSHA AND LOCAL FIRE MARSHAL REGULATIONS.

25. THE FACILITY RESERVES THE RIGHT TO KEEP ANY EXISTING DEMOLISHED PROPERTY AND/OR MATERIAL(S). CONTRACTOR SHALL NOTIFY THE FACILITY PRIOR TO CARTING ANY EQUIPMENT AND/OR MATERIALS OFF SITE FOR 26. RULES AND REGULATIONS ARE SUBJECT TO CHANGE AT ANY GIVEN TIME. THE FACILITY WILL DULY NOTIFY

CONTRACTOR OF ANY SUCH CHANGES. 27. THE CONTRACTOR IS TO SUPPLY, ERECT AND MAINTAIN NON-COMBUSTIBLE PROTECTION BARRIERS TO

28. THE FACILITY'S PLANT ENGINEERING DEPARTMENT HAS THE RIGHT TO PERMANENTLY OR TEMPORARILY EVICT FROM THE PREMISES ANY OF THE CONTRACTOR'S STAFF OR SUPERVISORY PERSONNEL WITHOUT PRIOR NOTIFICATION.

29. THE CONTRACTOR MUST SUPPLY THE FACILITY WITH PROJECT CLOSE OUT DOCUMENTATION SUCH AS: AS-BUILT DRAWINGS, SCHEMATICS, U.L. APPROVALS, ELECTRICAL UNDERWRITERS CERTIFICATE, ISO DRAWINGS AND CERTIFICATES, WARRANTIES, VALVE TAG CHARTS, OPERATION/MAINTENANCE MANUALS, ETC. A LIST OF REQUIREMENTS WILL BE ISSUED BY THE FACILITY ON CLOSE OUT DOCUMENTATION. FINAL PAYMENT WILL BE RELEASED <u>ONLY</u> WHEN THE DOCUMENTATION HAS BEEN FULLY RECEIVED.

30. CONTRACTORS SHALL EDUCATE ALL OF THEIR EMPLOYEES OF OSHA'S HAZARD COMMUNICATION STANDARDS.

31. THE CONTRACTORS SHALL DESCRIBE AND REVIEW THE PROCEDURES FOR EMERGENCIES SUCH AS FIRE, MEDICAL, CHEMICAL SPILLS, DISASTERS, ETC., WITH ALL OF THEIR EMPLOYEES.

32. WHENEVER CONTRACTORS ARE PERFORMING HAZARDOUS ACTIVITIES SUCH AS WELDING, SOLDERING, SHORING, ETC. FACILITY DEPARTMENTS SHALL BE NOTIFIED OF SAID ACTIVITIES 48 HOURS PRIOR TO EXECUTING SAME.

33. CONTRACTORS SHALL BE PROHIBITED FROM LOITERING IN PUBLIC SPACES SUCH AS LOBBIES, CORRIDORS, Grounds, etc. notification of same shall be issued/routed through appropriate internal channels to all EMPLOYEES AND SUBCONTRACTORS WORKING ON THE PROJECT.

34. THROUGHOUT THE COURSE OF CONSTRUCTION, CONTRACTORS SHALL BE COGNIZANT OF EMERGENCY READINESS, AND MAINTAIN ALL CONSTRUCTION AREAS IN SUCH A FASHION AS TO BE ACCESSIBLE TO FIRE AND/OR RESCUE PERSONNEL. 35. ALL AREAS UNDER CONSTRUCTION SHALL BE LOCKED DURING OFF HOURS. ALL OFF-HOUR WORK SHALL

36. FACILITY PUBLIC TOILETS SHALL NOT BE USED BY CONSTRUCTION CREW(S). PUBLIC TOILETS SHALL NOT BE USED TO CLEAN OR STORE TOOLS/EQUIPMENT, ETC., AS AREAS SHALL BE SPECIFICALLY DESIGNATED FOR SUCH TASKS. THE FACILITY SHALL MAKE PRÓVISIONS FOR SANI—TOILET FACILITIES FOR ALL CONTRACTORS, UNLESS TOILETS HAVE BEEN SPECIFICALLY DESIGNATED FOR CONTRACTOR USE, AS DETERMINED BY PLANT ENGINEERING SUPERVISOR AND/OR CONSTRUCTION PROJECT COORDINATOR IN CHARGE

BE COORDINATED THROUGH THE PLANT ENGINEERING SUPERVISOR AND/OR CONSTRUCTION PROJECT MANAGER.

PROTECT THE PUBLIC AND FACILITY STAFF.

FACILITY INFECTION CONTROL POLICIES (ICRA/PCRA) SHALL BE STRICKTLY ADHERED TO IN ALL DEMOLITION AREA.

19. ANY ROOM OR SPACE WITHIN THE WORK AREA WHICH A CONTRACTOR WISHES TO KEEP LOCKED SHALL EITHER CONFORM TO A KEYING SYSTEM SATISFACTORY TO THE FACILITY OR, IN THE EVENT A NONSTANDARD LOCK IS REQUIRED OR DESIRED, THE FACILITY SHALL BE FURNISHED WITH SIX (6) KEYS.

20. CONTRACTOR IDENTIFICATION BADGES SHALL BE ISSUED BY THE FACILITY SECURITY OFFICE, AND MUST BE WORN AT ALL TIMES WHILE ON FACILITY PREMISES.

21. A DAILY SIGN-IN/OUT LOG SHALL BE KEPT AT THE CONSTRUCTION WORK SITE, AVAILABLE FOR INSPECTION AT ALL TIMES. CONTRACTOR TO FOLLOW STANDARD AIA FORMATTING.

22. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE BEHAVIOR OF HIS EMPLOYEES, AND MUST MAKE CERTAIN THEY ABIDE BY ALL FACILITY RULES AND REGULATIONS. THE CONTRACTOR SHALL REVIEW GUIDELINES FOR CONDUCT WITH ALL EMPLOYEES SCHEDULED TO WORK AT THE FACILITY SITE PRIOR TO THE START OF THE PROJECT.

37. ANY DAMAGE CAUSED BY CONTRACTORS SHALL BE IMMEDIATELY REPORTED TO THE PLANT ENGINEERING DEPARTMENT SUPERVISOR AND/OR CONSTRUCTION PROJECT COORDINATOR. THE INCIDENT WILL BE DOCUMENTED, AND THE CONTRACTOR HELD RESPONSIBLE FOR REPAIR AND RETURN OF FACILITY PROPERTY TO ITS ORIGINAL CONDITION.

38. CONTRACTORS SHALL EXERCISE THE PROPER OSHA RECOMMENDED DRESS CODE WHILE PERFORMING WORK ON THE JOB SITE. (PROPER ATTIRE: SHOES, SHIRT, PANTS, EYE/HEAD/EAR PROTECTION, ETC.) 39. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR EQUIPMENT SAFETY. LADDERS, TOOL CARTS, SAFETY BARRICADES, ETC. SHALL BE OSHA COMPLIANT AT ALL TIMES. ANY UNSAFE EQUIPMENT WILL BE REMOVED IMMEDIATELY

FOR REPAIR OR REPLACEMENT. FACILITY EQUIPMENT SHALL NOT BE USED UNLESS PRIOR APPROVAL HAS BEEN

40. EMERGENCY DETECTING SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. (I.E.: FIRE ALARM, SMOKE DETECTORS, FIRE DETECTORS, SPRINKLERS, ETC.) SMOKE ALARM SENSITIVITY SHALL BE TAKEN INTO CONSIDERATION,

AND THE AVOIDANCE OF ACCIDENTAL TRIPPING OF ALARMS SHOULD BE A PRIORITY AT ALL TIMES. 41. CONTRACTORS ARE RESPONSIBLE FOR STRICT ADHERENCE TO INFECTION CONTROL RISK ASSESSMENT (ICRA)

A. CONTRACTORS MUST READ AND FOLLOW DIRECTIONS LISTED ON INFECTION CONTROL PRECAUTION SHEETS POSTED OR HANDED OUT WHENEVER WORKING IN, NEAR OR ADJACENT TO SENSITIVE AREAS, IE: PATIENT ROOMS, OPERATION ROOMS, EMERGENCY ROOMS, ETC. PERMISSION TO WORK IN SENSITIVE AREAS MUST BE OBTAINED FROM THE FACILITY AND NURSING STAFF SUPERVISOR PRIOR TO ENTRY.

B. AIRTIGHT TEMPORARY WALLS AND DUST BARRIERS ARE REQUIRED WITH EVERY PROJECT. PROVIDE PORTABLE FILTRATION (HEPA) FILTERING UNITS WITHIN OR ADJACENT TO CONSTRUCTION AREAS.

C. CONSTRUCTION AREAS MUST BE AT NEGATIVE PRESSURE TO THE REMAINDER OF THE FACILITY. RETURN AIR AND SUPPLY AIR GRILLES/VENTILATION MUST BE PROPERLY BLOCKED OFF FROM CONSTRUCTION DUST. CONTRACTORS MAY USED WINDOW FANS, WHERE APPROPRIATE. AIR FROM CONSTRUCTION SITE MUST NOT BE RECIRCULATED.

D. ALL DOORS IN AND OUT OF THE CONSTRUCTION AREA SHALL BE DUST TIGHT, AND EQUIPPED WITH SELF-CLOSING HARDWARE, CONTRACTOR SHALL CONSTANTLY MONITOR ALL DOORS TO ASSURE THAT THEY ARE MAINTAINED IN A CLOSED POSITION AT ALL TIMES. DOORS ARE NOT TO BE 'PROPPED' OPEN UNDER ANY

E. DAMPENED WALK-OFF MATS SHALL BE UTILIZED OUTSIDE ALL CONSTRUCTION AREAS.

GUIDELINES AT ALL TIMES, (COPIES OF GUIDELINES ARE AVAILABLE IN PLANT ENGINEERING.):

F. DUSTING EQUIPMENT, MATERIALS AND/OR WET MOPS MUST BE MADE AVAILABLE IN CONSTRUCTION AREAS TO REMOVE ANY DUST OR DEBRIS TRACKED OUTSIDE THE CONSTRUCTION BARRIERS.

42. ALL CONTRACTORS WILL BE REQUIRED TO SUBMIT INSURANCE FOR ALL CONTRACTED/CONSTRUCTION WORK. THE FACILITY INSURANCE REQUIREMENTS WILL BE ISSUED BY THE DESIGN & CONSTRUCTION DEPARTMENT.

43. ALL INTERIM LIFE SAFETY MEASURES (ILSM) SHALL BE CLOSELY FOLLOWED BY ALL CONTRACTORS. (COPIES OF GUIDELINES ARE AVAILABLE IN PLANT ENGINEERING.)

44. ALL CONTRACTORS WILL BE RESPONSIBLE FOR FOLLOWING FACILITY INVOICING PROCESS. AIA APPLICATIONS FOR PAYMENT WILL BE UTILIZED WITH ALL PROJECTS AS A PART OF INVOICING FOR COMPLETED WORK. 45. CONTRACTORS WILL BE REQUIRED TO SUBMIT MSDS SHEETS FOR ALL HAZARDOUS AND NON-HAZARDOUS MATERIALS BEING SHIPPED. USED OR DELIVERED TO FACILITY. RESPECTIVE CONTRACTORS SHALL MAINTAIN THEIR OWN

46. SPECIAL NOISE/VIBRATION CONTROL GUIDELINES MUST BE OBSERVED BY ALL CONTRACTORS. COORDINATE WITH PROJECT SUPERVISOR PRIOR TO EXECUTING THE WORK.

MSDS SHEETS ON SITE AND BE RESPONSIBLE FOR EDUCATION AND TRAINING OF THEIR EMPLOYEES.

A. ANY CORE DRILLING, SHIPPING OR HOLE DRILLING SHALL BE COORDINATED WITH THE PROJECT MANAGER IN CHARGE AND THE ADJACENT, AFFECTED DEPARTMENTS. PROPER AUTHORIZATION MUST BE GRANTED PRIOR TO ENGAGING IN ANY SUCH OPERATIONS. SPECIAL ATTENTION MUST BE GIVEN TO OCCUPANT IN THE CONSTRUCTION AREA, ALONG WITH ANY ADVERSE REACTIONS WHICH MAY BE GENERATED BY THE WORK.

B. ALL CONTRACTORS AND THEIR RESPECTIVE LABORERS, STAFF MEMBERS, ETC. SHALL BE PROPERLY EDUCATED/TRAINED TO MAINTAIN NOISE LEVELS AT A MINIMUM. A STAFF WHICH IS LOUD, RUDE OR ENGAGED IN THE USE OF VULGAR LANGUAGE WILL NOT BE TOLERATED, AND MAY SUBSEQUENTLY BE DISMISSED BY THE PROJECT C. CONTRACTORS SHALL CONTINUOUSLY CARRY OUT THEIR RESPECTIVE WORK WITH A MINIMUM OF DISRUPTIONS TO PATIENTS, VISITORS, DOCTORS AND OTHER FACILITY STAFF.

D. PLAYING OF RADIOS, 'BOOM BOXES', WALKMANS, ETC. SHALL NOT BE PERMITTED IN ANY OCCUPIED AREAS AT

E. CONTRACTORS SHALL COORDINATE ALL ACTIVITIES CLOSELY WITH THE SUPERVISING PROJECT MANAGER AND NURSING STAFF SUPERVISOR, TO ENSURE THAT DEBRIS REMOVAL, EQUIPMENT RELOCATION, ETC. DOES NOT DISRUP NORMAL FACILITY OPERATIONS.

47. CONTRACTOR SHALL CLOSELY FOLLOW PLANT ENGINEERING DEPARTMENT PROCEDURES FOR REQUESTING INFORMATION. THE PLANT ENGINEERING DEPARTMENT SHALL BE CONTACTED AND A FORMAL REQUEST BE MADE WHEN REQUESTING INFORMATION PERTAINING TO EXISTING FACILITIES.

48. CONTRACTOR SHALL REFER TO ALL OF OSHA REGULATIONS WHEN WORKING ON SITE. ALL SAFETY AND PREVENTIVE MAINTENANCE MEASURES SHALL BE CLOSELY FOLLOWED BY CONTRACTOR AT ALL TIMES. PLANT ENGINEERING AND DESIGN AND CONSTRUCTION WILL ENFORCE ALL OSHA REGULATIONS, AND CONTRACTOR WILL COMPLY WITH ALL REQUESTS MADE BY THE SUPERVISING PROJECT MANAGER. LOCKOUT/TAGOUT PROCEDURES SHALL BE FOLLOWED. CONTRACTORS SHALL WORK CLOSELY WITH THE PLANT ENGINEERING DEPARTMENT WITHIN THE FACILITY, WHEN MAKING TIE-INS TO EXISTING MECHANICAL, PLUMBING, ELECTRICAL, MEDICAL GAS, FIRE DETECTION AND SPRINKLER SYSTEMS. ONLY FACILITY EMPLOYEES ARE AUTHORIZED TO OPEN/CLOSE VALVES OR TURN ON/OFF EXISTING SYSTEMS AND EQUIPMENT. ALL CONNECTIONS, TIE-INS OR ALTERATIONS TO BUILDING LIFE SAFETY UTILITIES, SPRINKLER OR ELECTRICAL SYSTEMS MUST BE PERFORMED WITH PLANT ENGINEERING COORDINATION AND APPROVAL ONE WEEK PRIOR TO SCHEDULING OR STARTING THE WORK.

49. APPROPRIATE JOB SIGNS AND CONSTRUCTION BARRICADES MUST BE PLACED BY CONTRACTOR WITHIN AND AROUND CONSTRUCTION PROJECTS. ALL STAIRWELLS SHALL BE MAINTAINED FOR EMERGENCY EGRESS AT ALL TIMES, CLOSELY MONITORING STAIRWELLS FOR LIFE SAFETY MEASURES. STAIRWELLS ARE NOT TO BE USED FOR STORAGE AT ANY TIME. DOORS INTO STAIRWELLS MUST NOT BE PROPPED OPEN OR BLOCKED AT ANY TIME. DISCIPLINARY ACTION WILL BE TAKEN IF CONTRACTOR IS FOUND TO BE NEGLIGENT IN THIS AREA.

50. ALL CONTRACTORS ARE ENCOURAGED TO FREQUENTLY REVIEW ALL GUIDELINES WITH THEIR EMPLOYEES AND SUBCONTRACTORS ON SITE. UPON REQUEST BY SUPERVISING PROJECT MANAGER, CONTRACTOR SHALL SUBMIT

51. FACILITY RESERVES THE RIGHT TO APPROVE OR REJECT ANY AND ALL CONTRACTORS, SUBCONTRACTORS, VENDORS, SUPPLIERS, ETC.

52. CONTRACTORS SHALL PROVIDE TRAINED, EQUIPPED PERSONNEL TO REGULATE TRAFFIC, WHEN NECESSITATED BY CONSTRUCTION WORK.

53. CONTRACTORS NOTE: UNIVERSAL PRECAUTIONS SHALL BE AVAILABLE TO ALL CONTRACTORS. FACILITY PROVIDES WRITTEN POLICIES AND GUIDELINES, EDUCATIONAL TRAINING, PERSONAL PROTECTIVE EQUIPMENT TO PREVENT EXPOSURE TO BLOOD-BORNE PATHOGENS. CONTRACTORS MAY REQUEST THIS INFORMATION AT ANY TIME.

54. WALL PENETRATIONS: ALL WALL PENETRATIONS MUST BE LOCATED, MARKED AND SEALED BY RESPONSIBLE CONTRACTORS WHEN PROJECT IS COMPLETE. PLANT ENGINEERING MUST BE CONTACTED TO INSPECT PENETRATIONS FOR PROPER SEALING OF SAME. A WALL PENETRATION AND/OR WORKING ABOVE SUSPENDED CEILINGS FORM MUST BE COMPLETED BY ALL CONTRACTORS FOR EACH PROJECT. (FORMS ARE AVAILABLE IN THE PLANT ENGINEERING OFFICE.)

55. ALL CONTRACTORS WILL BE REQUIRED TO SUBMIT A CONSTRUCTION SAFETY PLAN TO NYSDOH, FOR REVIEW/APPROVAL PRIOR TO THE START OF ANY CONSTRUCTION PROJECTS. PROJECT APPROVAL LETTERS FROM THE BUREAU OF ARCHITECTURAL AND ENGINEERING FACILITY PLANNING (BAEFP) ARE REQUIRED BEFORE COMMENCING ANY

SPECIAL CONSIDERATIONS:

ACCORDINGLY.

1. CONTRACTORS SHALL TAKE EXTRA PRECAUTIONS WHEN WORKING IN, OVER, UNDER OR NEAR SENSITIVE FACILITY AREAS.

2. THE FACILITY HAS THE RIGHT TO LIMIT CONTRACTOR'S ACCESS TIMES TO SENSITIVE AREAS BASED ON FACILITY SCHEDULING.

3. CONTRACTOR SHALL NOTIFY FACILITY STAFF AND PERSONNELL TWO WEEKS PRIOR TO WORKING IN SENSITIVE AREAS.

4. WORK IN ALL SENSITIVE AREAS SHALL BE ON OVERTIME, WEEKEND, AND HOLIDAY TIMES TO FIT WITHIN THE FACILITY'S SCHEDULE. CONTRACTORS ARE DIRECTED TO BID ACCORDINGLY. CHANGE ORDERS FOR

ADDITIONAL FUNDING FOR WORKING OUTSIDE OF STANDARD WORKING HOURS WILL NOT BE APPROVED. 5. AREAS OF SPECIAL CONSIDERATION, CONSIDERED 'SENSITIVE', SHALL BE EMERGENCY ROOMS. OPERATING ROOMS, PROCEDURE ROOMS, LIFE SUPPORT UNITS, CRITICAL CARE UNITS, ETC. FACILITY STAFF SHALL

INFORM ALL CONTRACTORS OF THE AREAS BEING AFFECTED BY THIS

CONTRACT DURING BIDDING PROCESS, SO THAT CONTRACTOR CAN BID

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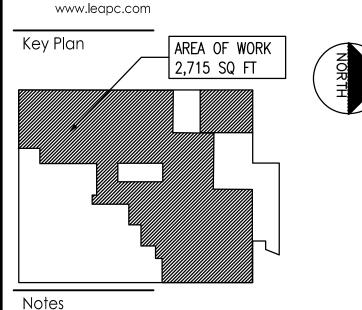
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Appd. YY.MM.DD Revision GM BD 23.10.16 OMEGA ENVIRONMENTAL SERVICES GM BD 23.05.01 GM BD 22.12.09 OMH FILING By Appd. YY.MM.DD Issued File Name: 00004B_A-100 - Existing Conditions.dwg Dwn. Chkd. Dsgn. YY.MM.DD

Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

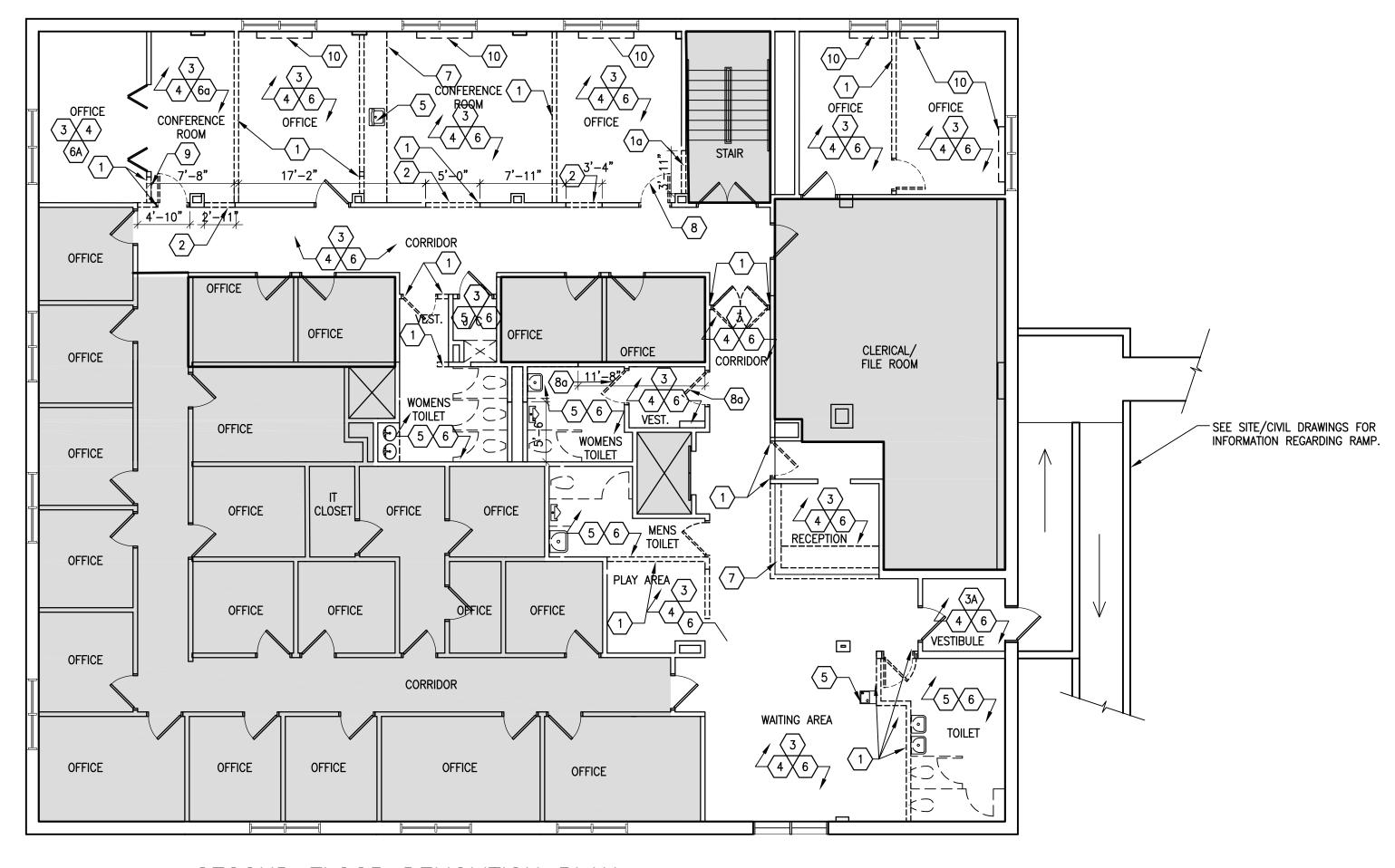
SECOND FLOOR EXISTING CONDITIONS PLAN/ ICRA NOTES

Project No. Scale 225300004

Drawing No.

AS NOTED Sheet

Revision



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL INCLUSIVE. CONTRACTOR SHALL INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

- 2. CONTRACTOR SHALL CONSULT WITH THE OWNER IN ADVANCE OF DOING WORK, TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS REMOVED DURING DEMOLITION.
- 3. PROVIDE TEMPORARY DUST BARRIERS, BARRICADES, ETC. BY ICREA REGULATIONS TO PROTECT PERSONNEL AND ADJACENT SPACES ASW REQUIRED OR SHOWN ON DRAWINGS. WHERE USED IN FIRE RATED WALLS OR PARTITIONS, THE TEMPORARY CONSTRUCTION SHALL MATCH FIRE RATING.
- 4. WHERE EXISTING CONSTRUCTION (I.E., PARTITIONS, FLOORS, BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, HVAC, ELECTRICAL AND PLUMBING FIXTURES) IS REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE TO RECEIVE NEW CONSTRUCTIONS AND/OR PROVIDE NEW SCHEDULED FINISHES OR NEW FINISHES TO MATCH EXISTING ADJACENT.
- 5. WHERE NEW CONSTRUCTION OCCURS IN EXISTING WALLS OR PARTITIONS WHICH ARE FIRE RATED, MATERIALS USED SHALL BE SUFFICIENT TO MAINTAIN FIRE RATING.
- 6. WHERE PARTITIONS ARE REMOVED AT COLUMNS AND WALLS, EXISTING FINISH AROUND COLUMNS SHALL BE REMOVED, COLUMNS SHALL REMAIN AND NEW CONSTRUCTION AND FINISHED SHALL BE APPLIED TO MATCH NEW ADJACENT AND/OR SIMILAR CONDITIONS. MAINTAIN EXISTING RATING FOR COLUMN ENCLOSURES.
- 7. UNLESS NOTED OTHERWISE, REMOVE EXISTING PROJECTIONS, HANGERS, BOLTS, NAILS, BRACKETS, CURTAIN RODS, VALANCES, ETC. FROM EXISTING WALLS AND COLUMNS. PATCH ALL HOLES TO MATCH ADJACENT SURFACES AND/OR PROVIDE NEW SCHEDULED FINISHES.
- 8. AT NEW DOORS, CORRIDOR OPENINGS OR CONNECTIONS AND WHERE PARTITIONS ARE REMOVED, REMOVE EXISTING FLOORING AND BASES TO EXTENT REQUIRED TO PROVIDE A SMOOTH TRANSITION. PATCH AND TREAT THE SUBSURFACE TO ELIMINATE "TELEGRAPHING" OF EXISTING JOINTS THROUGH THE NEW FLOORING.
- 9. REMOVE SUSPENDED ACOUSTIC TILE AND/OR PLASTER CEILING TO EXTENT REQUIRED TO ACCOMMODATE NEW HVAC, PLUMBING AND ELECTRICAL WORK IN THE SPACES WHERE SUCH WORK IS SHOWN ON MECHANICAL AND ELECTRICAL DRAWINGS. AFTER HVAC, PLUMBING AND ELECTRICAL WORK IS COMPLETE, AND IF NEW CEILING IS NOT REQUIRED BY FINISH SCHEDULE, PATCH AND REPAIR CEILING TO MATCH ADJACENT CEILING. COMPLETE REMOVAL OF CEILINGS FOR OTHER REASONS IS INDICATED ON DEMOLITION DRAWINGS.
- 10. UNLESS OTHERWISE NOTED ON DOCUMENTS, PAINTING SHALL BE FROM A BREAK IN PLANE TO A BREAK IN PLANE REGARDLESS OF AREA ACTUALLY REPAIRED OR DISTURBED. WHERE EXISTING OR NEW CERAMIC TILE OCCURS WITHIN A SCHEDULED PAINT FINISH AREA, CERAMIC TILE SHALL REMAIN UNPAINTED.
- 11. UTILITIES SHOWN ON DEMOLITION DRAWINGS SHALL BE REMOVED BY INDIVIDUAL TRADES (E.G., FIXTURE REMOVAL, CAPPING, ETC., TO BE BY PLUMBING CONTRACTOR) AND ARE INDICATED HERE FOR PURPOSED OF SCOPE. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES. MECHANICAL, PLUMBING AND/OR ELECTRICAL FIXTURES REQUIRED TO BE REMOVED OR RELOCATED DUE TO NEW CONSTRUCTION AND/OR DEMOLITION OF EXISTING CONSTRUCTION SHALL BE REMOVED AND/OR RELOCATED BY THE RESPECTIVE TRADES.

- 12. WHERE DRAWINGS CALL FOR REMOVAL OF EXISTING HVAC, PLUMBING AND ELECTRICAL FIXTURES OR EQUIPMENT, REMOVE ABANDONED SERVICES AND REROUTE OR CAP BEHIND LINE OF NEW CONSTRUCTION AND FINISHES. EXISTING AND NEW UTILITIES SHALL BE CONCEALED BY NEW CONSTRUCTION. IF NO NEW CONSTRUCTION IS INDICATED AT LOCATION OF REMOVAL, REPAIR AND INFILL ANY CAPS OR DAMAGE LEFT IN EXISTING FINISHES. MATCH ADJACENT MATERIAL SURFACE AND FINISH. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES.
- 13. DUCTS, PIPES AND ELECTRICAL CONDUIT TO REMAIN AND EXPOSED IN FINISHED SPACES SHALL BE CONCEALED IN NEW AND/OR EXISTING CONSTRUCTION. NEW DUCTS, PIPES, AND CONDUITS SHALL BE CHASED INTO WALLS AND FINISHED TO MATCH ADJACENT SURFACES. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES.
- 14. NEW ELECTRICAL AND FIRE ALARM DEVICES, NEW FURRING AND THEIR ATTENDANT CONDUITS SHALL BE RECESSED IN NEW AND/OR EXISTING WALLS. PROVIDE OPENINGS, PATCH TO MATCH ADJACENT SURFACES OR PROVIDE NEW SCHEDULED FINISHES. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES.
- 15. DUCT, PIPE AND CONDUIT HOLES IN THE FLOOR, EITHER EXISTING OR RESULTING FROM DEMOLITION OR NEW WORK REQUIREMENTS, SHALL BE FILLED IN SOLID WITH
- 16. PATCH EXISTING DAMAGE TO WALLS, COLUMNS, FLOORS AND CEILINGS THAT ARE TO REMAIN. REPAIRS SHALL MATCH EXISTING ADJACENT AND/OR SIMILAR SURFACES AND MATERIALS.
- 17. WHERE CERAMIC FLOORING EXISTING IN SPACES TO RECEIVE NEW FINISH, REMOVE EXISTING CERAMIC TILE AND SETTING BED AND FILL WITH UNDERLAYMENT AS REQUIRED TO RECEIVE NEW FINISHES. WALL TILE SHALL BE REMOVED AND EXISTING SURFACES PREPARED AND/OR NEW SURFACE INSTALLED TO ACCEPT NEW SCHEDULED FINISHES.
- 18. REMOVE EXISTING CORNER GUARDS AT LOCATIONS WHERE NEW PARTITIONS ABUT SUCH WALL OR COLUMN CORNERS. REPAIR WALL OR COLUMN AS REQUIRED AFTER REMOVAL.
- 19. SUSPENDED CEILINGS SHALL BE SUSPENDED FROM STRUCTURE. WHERE INDICATED TO BE REMOVED, EXISTING SUSPENDED CEILINGS SHALL BE REMOVED COMPLETELY TO ALLOW INSTALLATION OF NEW SUSPENDED SYSTEM TO EXISTING STRUCTURE.
- 20. ALL FLOORS SHALL BE PATCHED AND LEVELED ACCORDING TO SPECIFICATIONS AND MADE READY TO RECEIVE NEW FINISH.
- 21. COORDINATE WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SCOPE OF WORK FOR ADDITIONAL DEMOLITION. REMOVAL AND REPAIR.
- 22. NO VALVES SHALL BE TURNED OR BREAKERS SHUT OFF WITHOUT PERMISSION OF
- 23. ANY "DEADLEGS" CREATED BY DEMOLITION TO BE REMOVED BACK TO ACTIVE PIPE IN PLUMBING SYSTEM.
- 24. ALL HARDWARE REMOVED BY DEMOLITION IS TO BE TURNED OVER TO OWNER.

KEYED DEMOLITION NOTES:

1. REMOVE EXISTING PARTITIONS (AND DOORS/FRAMES/VISION PANELS WHERE SHOWN) FROM FLOOR TO STRUCTURE ABOVE, INCLUDING ANY WALL MOUNTED EQUIPMENT/ DEVICES. ELECTRICAL AND MECHANICAL TO BE REMOVED BY RESPECTIVE CONTRACTORS. PATCH ADJACENT WALLS AS REQUIRED. PREP TO RECEIVE NEW FINISHES. SEE CONSTRUCTION PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

1a. REMOVE EXISTING BEARING PARTITIONS AND PROVIDE STEEL HEADER FOR SUPPORT.

2. CONTRACTOR SHALL REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR AND FRAME. PATCH TO MATCH ADJACENT FINISHES, INCLUDING BASE, PAINT, ETC. OR PREP TO RECEIVE NEW FINISHES. (COORDINATE WITH DOOR AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.)

3. EXISTING FLOOR FINISHES TO REMAIN. FLASH PATCH AND PREP AS REQUIRED FOR INSTALLATION OF NEW FLOORING ON TOP OF EXISTING FLOORING MATERIALS. REMOVE EXISTING WALL BASE AND PREP WALL SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

3A. REMOVE EXISTING FLOORING AND CONCRETE UNDERLAYMENT FOR INSTALLATION OF NEW TILE. ALIGN SURFACES FOR SMOOTH TRANSITION AT PREVIOUSLY INSTALLED NEW DOOR OPENING.

4. REMOVE EXISTING WALL COVERING, FINISHES AND WALL BASE. REMOVE EXISTING CHAIR RAILS AND CORNER GUARDS WHERE APPLICABLE. PREP SURFACE TO RECEIVE NEW FINISHES.SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION. EXISTING WALL MOUNTED EQUIPMENT/ DEVICES TO REMAIN TO BE REMOVED AS REQUIRED AND REINSTALLED UPON COMPLETION OF WORK.

5. PLUMBING CONTRACTOR TO REMOVE ALL PLUMBING FIXTURES AND CAP LINES FOR FUTURE USE. REFER TO PLUMBING DWGS FOR ADDITIONAL INFORMATION. GENERAL CONTRACTOR TO REMOVE EXISTING MILLWORK, TOILET PARTITIONS, ACCESSORIES, WALL FINISHES, WAINSCOT, CERAMIC TILE FLOOR FINISH AND MORTAR SETTING BED ENTIRELY. PROVIDE CONCRETE FILL, FLASH PATCH AND LEVEL OUT EXISTING FLOOR AS REQUIRED FOR NEW FLOOR. PATCH EXISTING WALLS AND PREP TO RECEIVE NEW WALL FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

6. REMOVE EXISTING ACOUSTIC TILE CEILING AND GRID AND/OR PLASTER CEILING, INCLUDING ALL ASSOCIATED METAL FURRING CHANNELS AND SUPPORTS ENTIRELY. EXISTING ELECTRICAL FIXTURES, EXHAUST VENTS, WIRING, GRILLES, DUCTWORK, ETC., TO BE DISCONNECTED, REMOVED AND CAPPED AS REQUIRED BY THE RESPECTIVE CONTRACTORS PRIOR TO DEMOLITION OF CEILING BY G.C.

6A. REMOVE PORTION OF EXISTING CEILING GRID TO ALLOW FOR NEW ROOM CONFIGURATION. REMOVE ALL CEILING TILES TO BE REPLACED WITH NEW. SEE REFLECTED CEILING PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

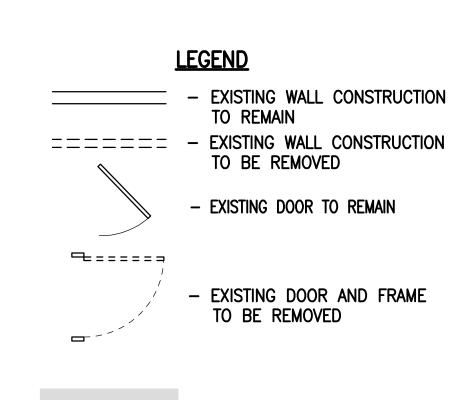
7. REMOVE EXISTING MILLWORK/CASEWORK AND ALL ASSOCIATED COMPONENTS ENTIRELY. PLUMBING CONTRACTOR TO REMOVE PLUMBING FIXTURES AND CAP LINES (WHERE APPLICABLE). ELECTRICAL AND MECHANICAL TO BE REMOVED BY RESPECTIVE CONTRACTORS. ANY DAMAGED AREAS TO BE REPAIRED, PATCHED AND PREPARED TO RECEIVE NEW FINISHES.

8. REMOVE EXISTING DOOR AND FRAME. PROVIDE NEW METAL STUD AND GYPSUM BOARD INFILL TO CLOSE OFF OPENING. ALIGN NEW WALL WITH EXISTING ADJACENT WALL SURFACE. PATCH AND PREPARE SURFACE TO RECEIVE NEW FINISHES. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

8a.REMOVE EXISTING DOOR AND FRAME (TO BE REPLACED WITH NEW). PATCH AFFECTED SURFACES AND PREP TO RECEIVE NEW FINISHES.

9. REMOVE PORTION OF EXISTING TRANSOM WINDOW TO CREATE NEW ADJACENT WALL STRUCTURE. INFILL WITH NEW GYP. BD. AND PREP FOR NEW FINISHES.

10. REMOVE EXISTING UNIT VENTS. INFILL WALL AS REQUIRED.PREP SURFACE TO RECEIVE NEW FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.



- OUT OF SCOPE



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Key Plan

AREA OF WORK
2,715 SQ FT

Notes

Revision

By Appd. YY.MM.DD

DOB FILING
OMEGA ENVIRONMENTAL SERVICES
OMH FILING
GM BD 23.10.16
OMH FILING
GM BD 22.12.09
ISSUED

File Name: 00004B_A-120 - Demolition Plan.dwg

Dwn. Chkd. Dsgn. YY.MM.DD

Client/Proiect

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RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Title

SECOND FLOOR DEMOLITION PLAN

Project No. Scale 225300004

Drawing No.

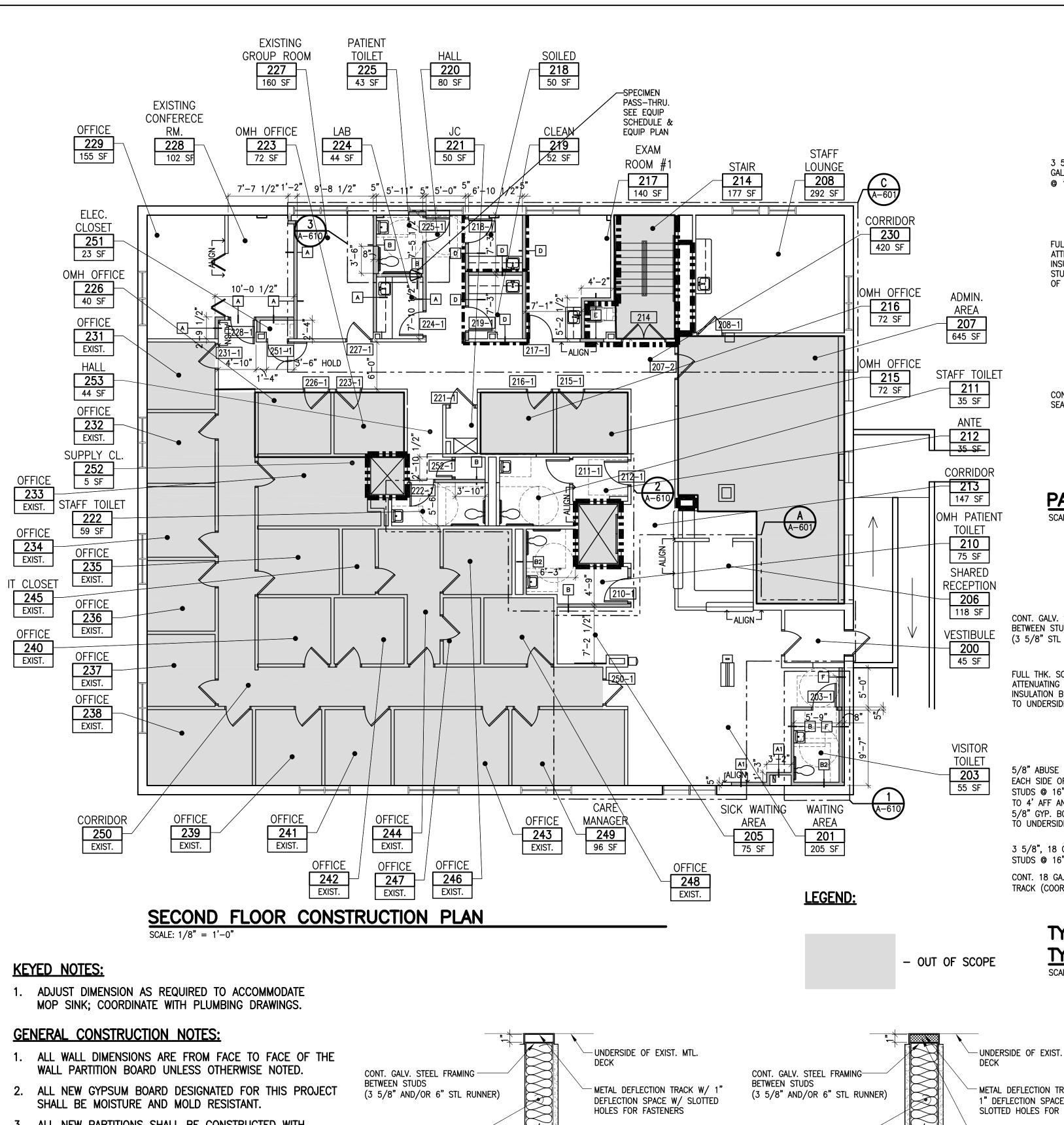
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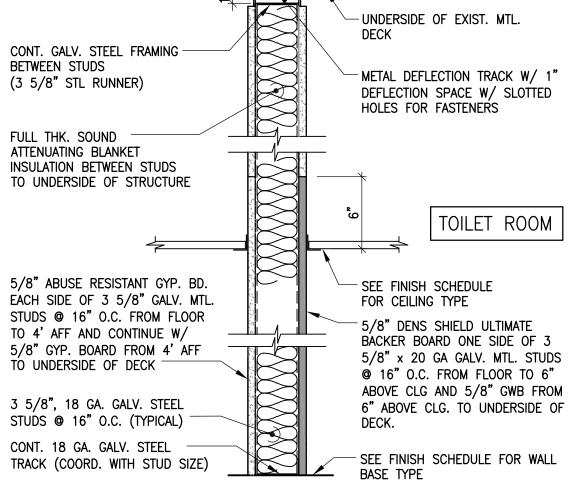
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Sheet



UNDERSIDE OF EXIST. MTL. 3 5/8", 20 GA. GALV. STEEL STUDS @ 16" O.C. (TYPICAL) METAL DEFLECTION TRACK W/ 1" DEFLECTION SPACE W/ SLOTTED HOLES FOR FASTENERS FULL THK. SOUND ATTENUATING BLANKET INSULATION BETWEEN STUDS TO UNDERSIDE OF STRUCTURE -SEE FINISH SCHEDULE FOR CEILING TYPE 5/8" TYPE 'X' ABUSE RESISTANT GYP. BD. BOTH SIDES OF 3 5/8" GALV. MTL. STUDS @ 16" O.C. FROM FLOOR TO 4' AFF AND CONTINUE W/ 5/8" CONTINUOUS ACOUSTICAL GYP. BOARD FROM 4' AFF TO SEALANT BOTH SIDES UNDERSIDE OF DECK SEE FINISH SCHEDULE FOR WALL BASE TYPE

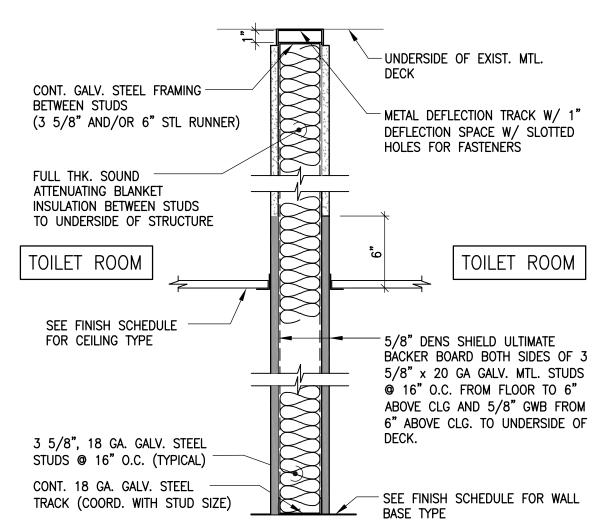
PARTITION TYPE 'A' SCALE: $1 \frac{1}{2} = 1'-0"$



TYP. TOILET PARTITION TYPE 'B' SCALE: $1 \frac{1}{2} = 1'-0"$

UNDERSIDE OF EXIST. MTL. 3 5/8", 20 GA. GALV. STEEL STUDS @ 16" O.C. (TYPICAL) METAL DEFLECTION TRACK W/ 1" DEFLECTION SPACE W/ SLOTTED HOLES FOR FASTENERS FULL THK. SOUND ATTENUATING BLANKET INSULATION BETWEEN STUDS TO UNDERSIDE OF STRUCTURE SEE FINISH SCHEDULE FOR CEILING TYPE 5/8" TYPE 'X' ABUSE RESISTANT GYP. BD. ON 3 5/8" GALV. MTL. STUDS @ 16" O.C. FROM FLOOR TO 4' AFF AND CONTINUE W/ 5/8" GYP. BOARD CONTINUOUS ACOUSTICAL FROM 4' AFF TO UNDERSIDE OF SEALANT SEE FINISH SCHEDULE FOR WALL BASE TYPE

PARTITION TYPE 'A1' SCALE: $1 \frac{1}{2} = 1'-0"$



TYP. TOILET PARTITION SCALE: $1 \frac{1}{2} = 1'-0"$

PROVIDE FIREPROOFING FOR

OPENINGS THROUGH WALL CONSTRUCTION. FIREPROOF

AS REQUIRED TO MAINTAIN FIRE RATING TO UNDERSIDE

OF EXISTING METAL DECK

- METAL DEFLECTION TRACK

WITH 1" DEFLECTION SPACE WITH SLOTTED

HOLES FOR FASTENERS

FIRE-RATED GASKET

- SEE FINISH SCHEDULE

3 5/8", 18 GA. GALV.

- SEE FINISH SCHEDULE

FOR WALL BASE TYPE

(TYPICAL)

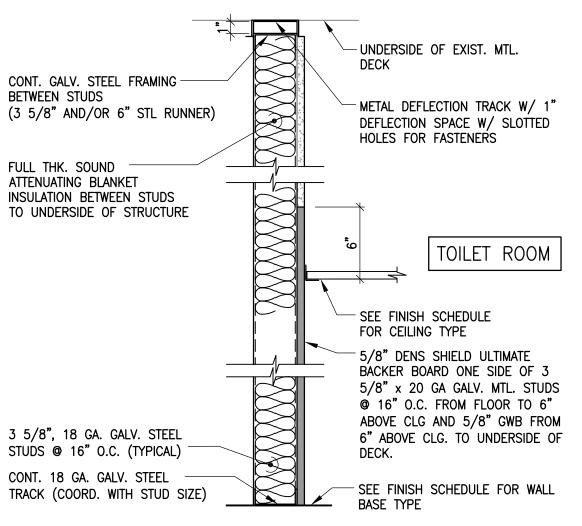
STEEL STUDS @ 16" O.C.

FOR CEILING TYPE

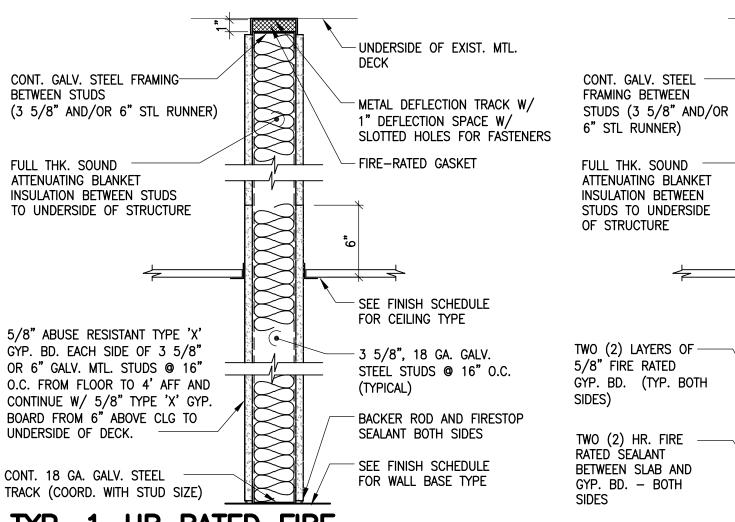
ALL GAPS AND/OR

TYPE 'B1'

- 3. ALL NEW PARTITIONS SHALL BE CONSTRUCTED WITH NON-COMBUSTIBLE MATERIALS AS SPECIFIED HEREIN AND/OR AS SHOW ON DRAWINGS.
- 4. FINISHED DOOR OPENINGS SHALL BE NOMINAL @ 6" FROM FINISHED CORNER OF ROOM AT HINGE SIDE, EXCEPT WHERE DIMENSIONED OTHERWISE
- 5. FOR ABBREVIATIONS AND ADDITIONAL SYMBOLS, REFER TO DRAWING C-000.00
- 6. ALL EXISTING WALL OPENINGS, NO LONGER NEEDED DUE TO MECHANICAL, ELECTRICAL OR OTHER TRADE REMOVALS SHALL BE SEALED AND PATCHED BY THE CONTRACTOR. NEW CONSTRUCTION AND FINISHES SHALL MATCH THOSE USED ON ADJACENT SURFACES. CLOSURE SHALL PROVIDE FIRE RESISTANCE CHARACTERISTICS OF THE SURROUNDING CONSTRUCTION.
- ALL CONCRETE SLAB SURFACES DAMAGED BY THE DEMOLITION SCOPE OF WORK AND OR EQUIPMENT REMOVALS SHALL BE REPAIRED AS REQUIRED TO PROVIDE A LEVEL AND FLUSH FINISHED SURFACE.
- REFER ALSO TO CODE COMPLIANCE PLAN FOR MORE INFORMATION ON REQUIRED FIRE SMOKE RATINGS.



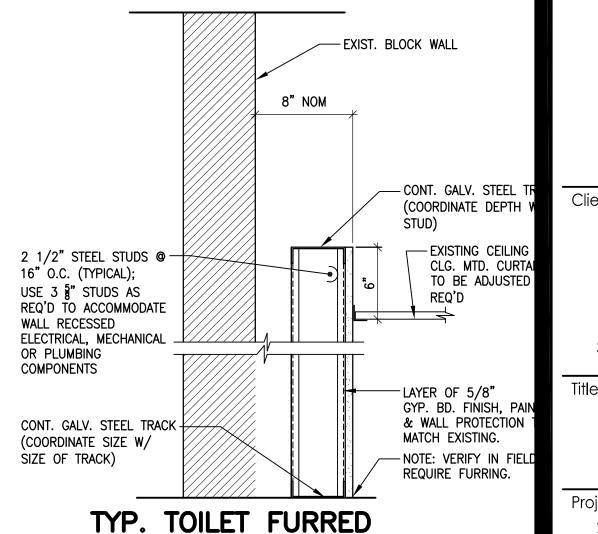
TYP. TOILET CHASE PARTITION TYPE 'B2' SCALE: $1 \frac{1}{2} = 1'-0"$



TYP. 1-HR RATED FIRE PARTITION TYPE D (U.L. DESIGN NO. U465)

SCALE: $1 \frac{1}{2} = 1'-0"$

TYP. TWO HOUR RATED FIRE PARTITION TYPE E U.L. DESIGN NO. U419



OUT PARTITION TYPE F

SCALE: $1 \frac{1}{2} = 1'-0"$

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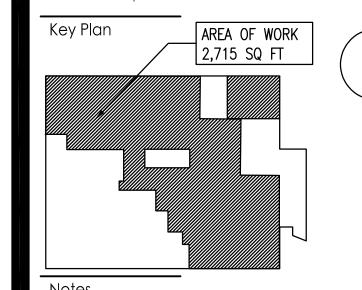
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Revision GM BD 23.05.01 OMEGA ENVIRONMENTAL SERVICES GM BD 22.12.09 By Appd. YY.MM.DD File Name: 00004B_A-130 - Construction Plan.dwa

Dwn. Chkd. Dsgn. YY.MM.DD

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Client/Project

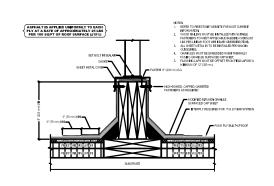
RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

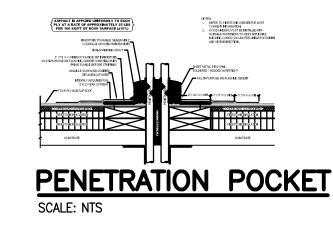
SECOND FLOOR CONSTRUCTION PLAN

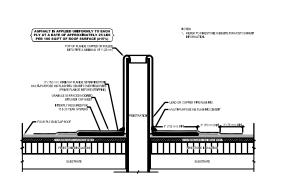
Project No. Scale AS NOTED 225300004 Sheet Revision Drawing No.

12 of 22

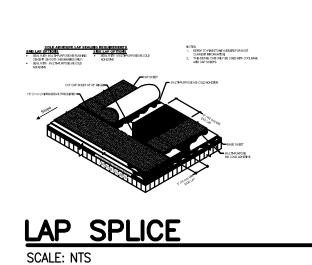


EQUIPMENT SUPPORT CURB





PLUMBING VENT
SCALE: NTS

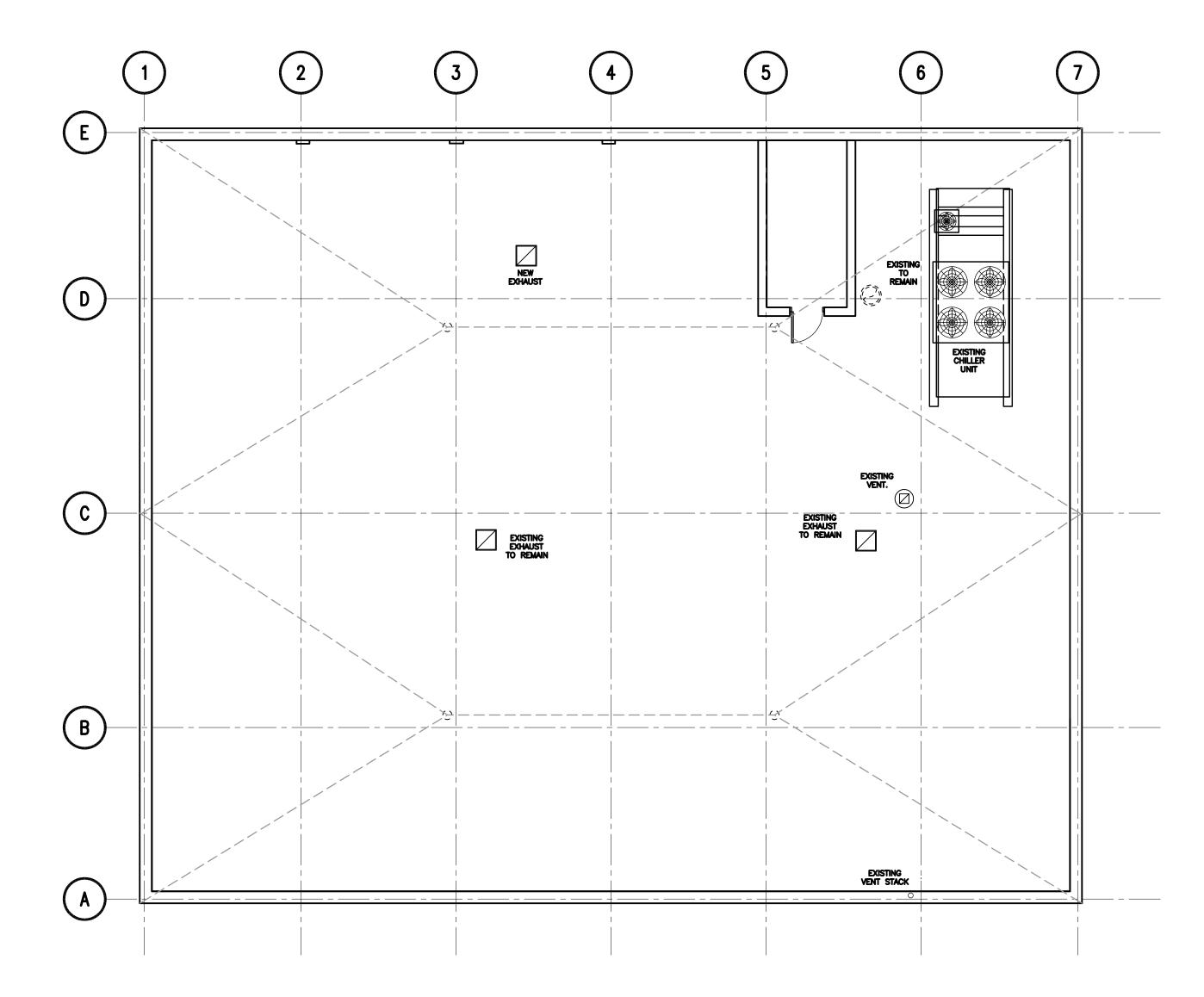


GENERAL ROOFING NOTES:

- 1. THE CONTRACTOR IS TO VERIFY ALL CONDITIONS, DIMENSIONS, QUANTITIES, LOCATIONS, ETC. AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- 2. THE WORK OF THIS CONTRACT SHALL BE COMPLETED IN ACCORDANCE WITH THE ATTACHED DRAWINGS, DOCUMENTS, AND SPECIFICATIONS.
- 3. ALL MATERIALS TO BE USED ON THIS PROJECT SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURE'S RECOMMENDED SPECIFICATIONS FOR INSTALLATION.
- 4. CONTRACTOR(S) SHALL COORDINATE THE WORK OF THIS CONTRACT TO AVOID ANY INTERFERENCE WITH ADJOINING AREAS.
- 5. ANY DEVIATIONS FROM THE ARCHITECT'S DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT IN WRITING FOR APPROVAL, PRIOR TO COMMENCING SAME.
- 6. CONTRACTOR SHALL EXERCISE EXTREME CARE NOT TO DAMAGE THE ADJACENT CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- 7. CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS AS REQUIRED TO PRECLUDE INJURY TO OWNER'S AND CONTRACTOR'S PERSONNEL, AND TO ALL PERSONS AT THE CONSTRUCTION SITE.
- 8. ROOFING MATERIAL TO BE PATCHED, REPAIRED AND REFLASHED AT THE NEW MECHANICAL COMPONENTS ONLY.Patching MUST BE BASED ON EXISTING ROOF SYSTEM.
- 9. ALL ROOF PIPE VENTS AND OTHER ROOF PENETRATION(S) SHALL BE EXTENDED UP AS REQ'D TO MAINTAIN A 6" MIN. (8" TYP) FLASHING HEIGHT ABOVE NEW TAPERED ROOF INSULATION.
- 10. PROVIDE PITCH POCKETS AT ALL ROOF PENETRATIONS
- 11. ALL WORK PERFORMED ON EXISTING ROOF SHALL BE DONE BY AN APPROVED ROOFING CONTRACTOR IN ORDER TO MAINTAIN EXIST. ROOFING WARRANTIES.

NOTES:

- 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR PHASING SCHEDULE AND ADDITIONAL INFORMATION.
- 2. LOCATIONS OF DUCTWORK AND SUPPORTS TO BE COORDINATED W/ MECHANICAL AND STRUCTURAL SHOP DRAWINGS PRIOR TO INSTALLATION.



ROOF PLAN

SCALE: 1/8" = 1'-0"



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Key Plan

AREA OF WORK
2,715 SQ FT

Notes

 Revision
 By
 Appd.
 YY.MM.DD

 DOB FILING
 GM
 BD
 23.10.16

 OMEGA ENVIRONMENTAL SERVICES
 GM
 BD
 23.05.01

 OMH FILING
 GM
 BD
 22.12.09

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Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Title

ROOF PLAN AND TYPICAL ROOF DETAILS

Project No. Scale
225300004 1/4" = 1'-0"

Drawing No. Sheet

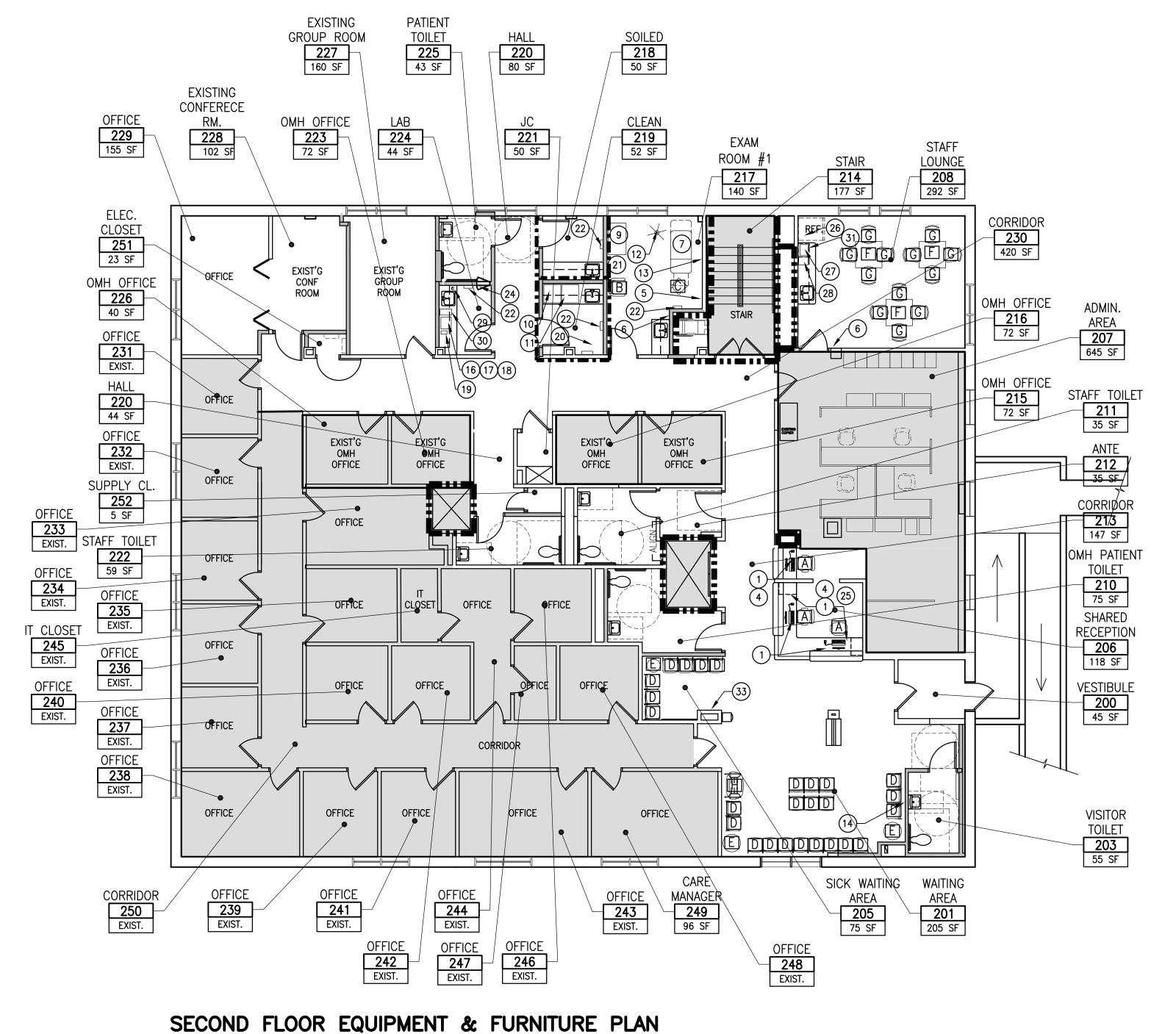
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Revision

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ORIGINAL SHEET - ARCH D

A-131.00 13 of



SCALE: 1/8" = 1'-0"

FURNITURE NOTES:

- 1. ALL FURNITURE IN ADMIN AREA 207 IS EXISTING TO REMAIN.
- 2. SEE EQUIPMENT SCHEDULE FOR ADDITIONAL INFO



- OUT OF SCOPE



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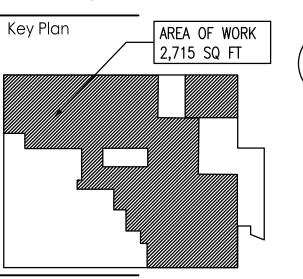
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Revision GM BD 23.05.01 OMEGA ENVIRONMENTAL SERVICES
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 22.12.09

 By
 Appd.
 YY.MM.DD
 Issued File Name: 00004B_A-132 - Equipment And Furniture Plan.dwg

Dwn, Chkd. Dsgn. YY.MM.DD Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

SECOND FLOOR FIXTURES, FURNITURE & EQUIPMENT PLAN

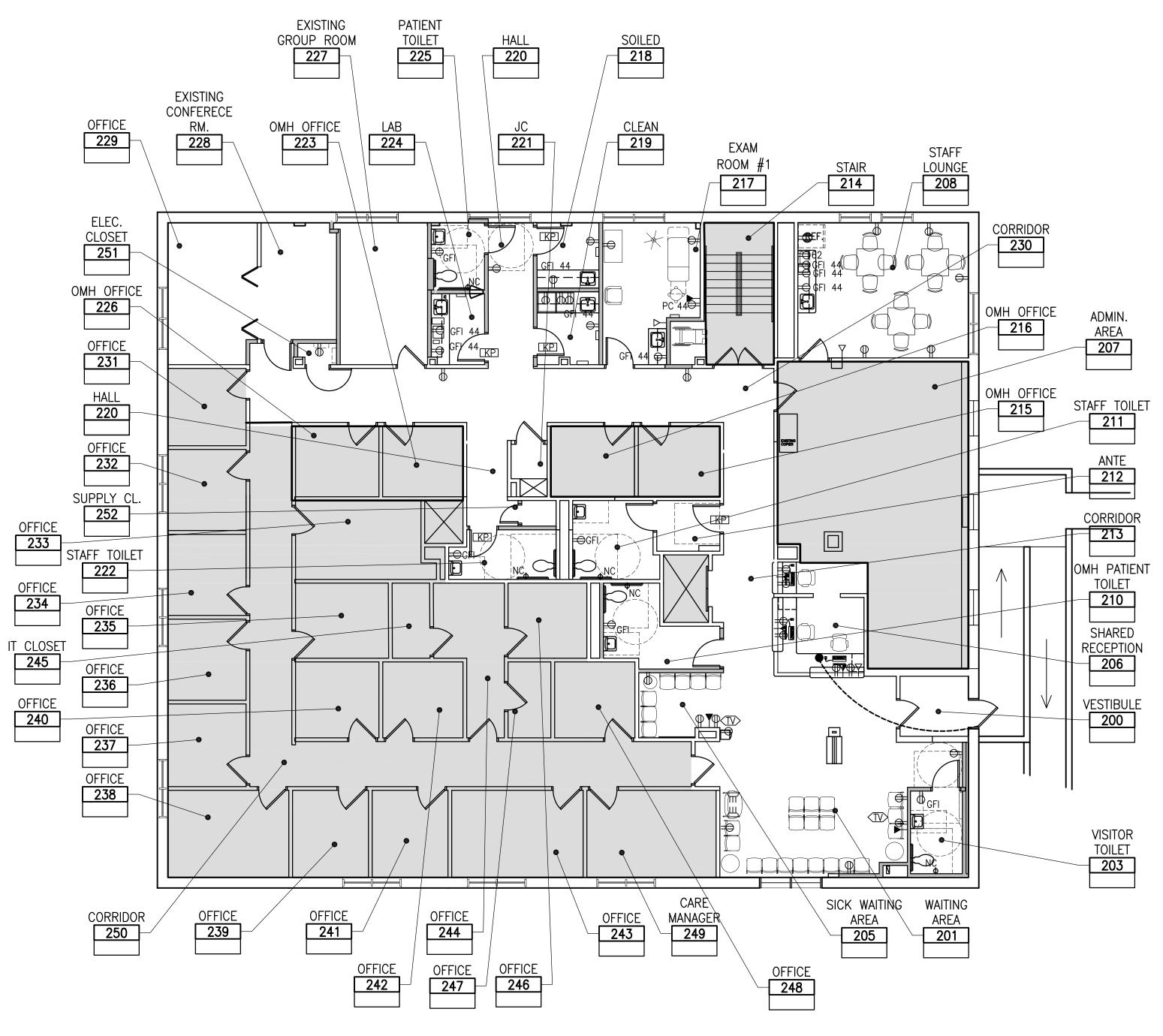
Project No. Scale 225300004 Drawing No.

AS NOTED Revision Sheet

14 of 22

ORIGINAL SHEET - ARCH D

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SECOND FLOOR POWER AND DATA PLAN

SCALE: 1/8" = 1'-0"**LEGEND:** - ROOM NAME CORRIDOR U P RECEPTACLE WITH USB PORT NURSE CALL — DUTY STATION - ROOM NUMBER TRIPLE DATA JACK (TWO DATA, 1 NURSE TERMINAL DUPLEX RECEPTACLE PHONE-CAT 6 WIRING) GFI RECEPTACLE CR QUAD DATA JACK (TWO DATA, 1 CARD READER PHONE-CAT 6 WIRING) QUAD RECEPTACLE KEY PAD DATA OUTLET (RJ45 CAT 6 - BLUE) DEDICATED RECEPTACLE PUSH PLATE WALL TELEPHONE OUTLET INDICATES CEILING MOUNTED RECEPTACLE COAX CABLE FOR TV CONNECTION EXISTING BUZZER TO CONTROL DOOR DENOTES HEIGHT OF FIN. FLR NURSE CALL COAXIAL CABLE CONNECTION FOR A/V - OUT OF SCOPE

INDICATES CLOCK

SECURITY CAMERA - 2

GENERAL NOTES:

- 1. PROVIDE DECORA SWITCH SWITCHES/SWITCHPLATES.
- 2. PROVIDE TAMPER PROOF SCREWS.

Stanted

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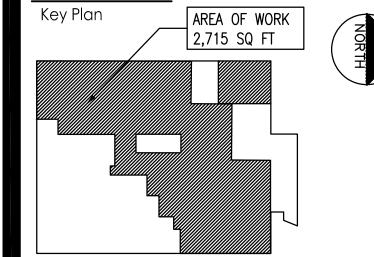
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Notes

Revision	Ву	Appd.	YY.MM.DE
DOB FILING	GM	BD	23.10.16
OMEGA ENVIRONMENTAL SERVICES		BD	23.05.01
OMH FILING	GM	BD	22.12.09
Issued	Ву	Appd.	YY.MM.DE

Dwn. Chkd. Dsgn. YY.MM.DD

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RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Title

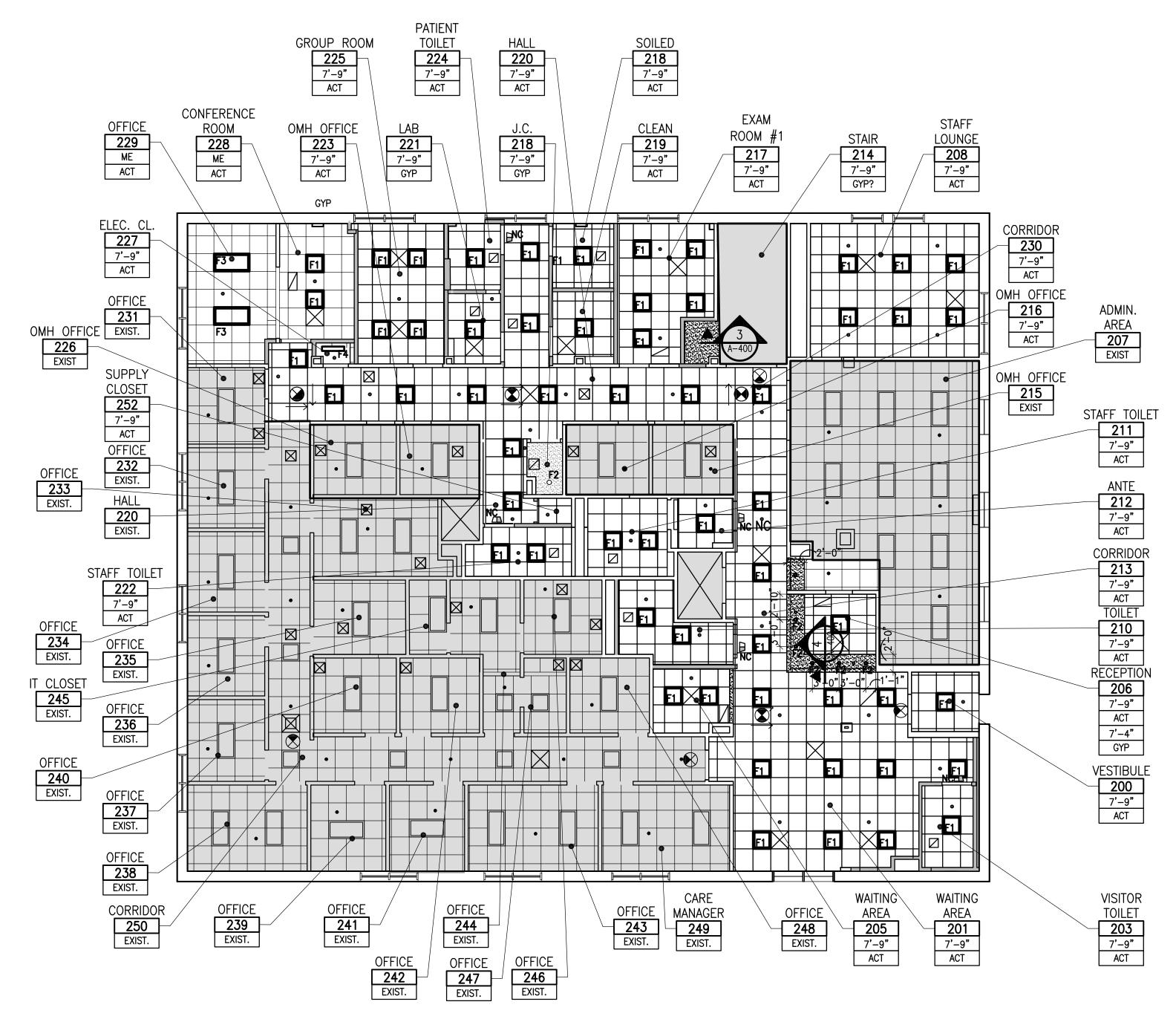
SECOND FLOOR POWER & DATA PLAN

Project No. Scale
225300004 AS NOTED

Drawing No. Sheet Revision

A-133.00 15 of 22

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SECOND FLOOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0"

GENERAL NOTES:

CONTRACTOR SHALL COORDINATE WITH ELECTRICAL DRAWING FOR SPECIFIC LIGHT FIXTURE TYPES AND QUANTITIES.

CONTRACTOR SHALL FURNISH AND INSTALL CONTINUOUS METAL TRIM (WHITE

- 2. CONTRACTOR SHALL COORDINATE LOCATION OF H.V.A.C. DUCTWORK AND PIPING WITH MECHANICAL DRAWINGS.
- WITH FACTORY APPLIED PAINT FINISH) AT ALL PIPE, CONDUIT & DUCT PENETRATIONS THROUGH CEILING CONSTRUCTION. 4. ALL ELECTRICAL SWITCHES AND COVER PLATES SHALL BE MOUNTED
- VERTICALLY, STRAIGHT AND ALIGNED, AND SHALL MATCH SPEC INFO AS
- 5. USE BUILDING APPROVED FASTERNERS WHEN SECURING BLACK IRON OR CEILING SUSPENSION RODS TO UNDERSIDE OF DECK ABOVE.
- 6. ALL SWITCHES IN A GROUP ARE TO BE GANGED WHERE POSSIBLE WITH A SINGLE COVER PLATE.
- 7. PROVIDE MINIMUM OF (1) ONE LIGHT SWITCH PER ROOM U.O.N.
- 8. ANY ADDITIONAL EQUIPMENT NEED FOR INSTALLATION OF THE SPECIFIED FIXTURES SHALL BE PROVIDED BY THE CONTRACTOR.
- 9. ANY NECESSARY GRID LOCATION CHANGES OR FIXTURE LOCATION CHANGES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- 10. CONTRACTOR TO FUNISH AND INSTALL FIRE AND SMOKE DAMPERS AS NECESSARY IN NEW AND EXISTING DUCTWORK TO ACHIEVE REQUIRED FIRE COMPARTMENTALIZATION.
- 11. FOR EXTENT OF EXISTING DUCTWORK TO REMAIN, SEE MECHAINAL DRAWINGS.
- 12. EXISTING FIRE PROTECTION AND LIFE SAFETY DEVICES, INCLUDING SPEAKERS, STROBES, EMERGENCY FIXTURES, EXIT LIGHTS, SMOKE DETECTORS AND SPRINKLERS TO BE REUSED TO FULLEST EXTENT POSSIBLE.

LEGEND:

OFFICE - ROOM NAME XXX - ROOM NUMBER 8'−0" ← CEILING HEIGHT ACT/GYP.BD. CEILING TYPE

- NEW GYP.BD. CEILING/ SOFFIT -- NEW LAY-IN CEILING TILE AND

- EXISTING LAY-IN CEILING TILE AND GRID TO REMAIN; REPLACE TILES WITH NEW

- REPAIR OF EXISTING LAY-IN CEILING GRID MAY BE REQUIRED ——

- NEW 2' X 2' LED LIGHT FIXTURE -

- NEW 4" DIA. LED DOWNLIGHTS

- NEW 2' X 4' LED LIGHT FIXTURE NEW 2' PENDANT LED FIXTURE F4 🗀

- NC DOME LIGHT

- NEW RETURN REGISTER - NEW SUPPLY DIFFUSER

- NEW SPRINKLER HEAD

SMOKE DETECTOR

REFER TO HVAC, FP, FA DWGS FOR MORE INFORMATION

REFER TO FINISH SCHEDULE

FOR MORE INFORMATION

REFER TO ELECTRICAL DRAWINGS

FOR MORE INFORMATION

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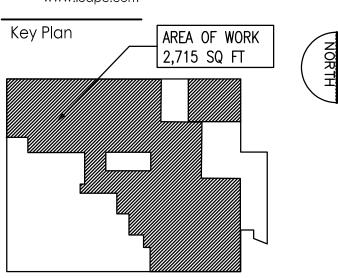
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 22.12.09

 By
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 YY.MM.DD
 Issued File Name: 00004B_A-140 - Reflected Ceiling Plan.dwg Dwn. Chkd. Dsgn. YY.MM.DD Permit-Seal

Client/Project

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669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

SECOND FLOOR REFLECTED CEILING PLAN

Project No. Scale AS NOTED 225300004

Drawing No.

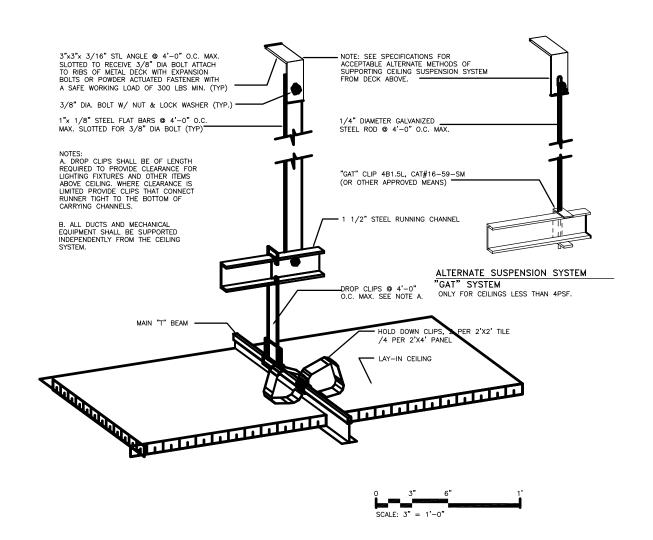
16 of 22

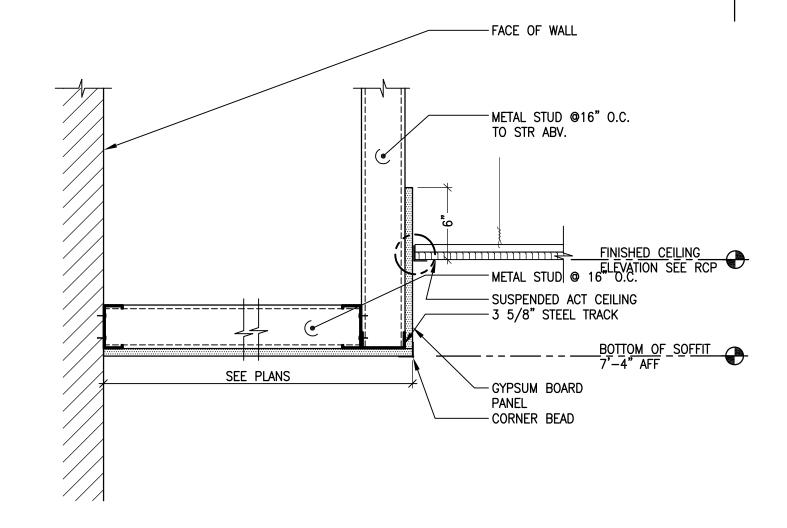
Revision

Sheet

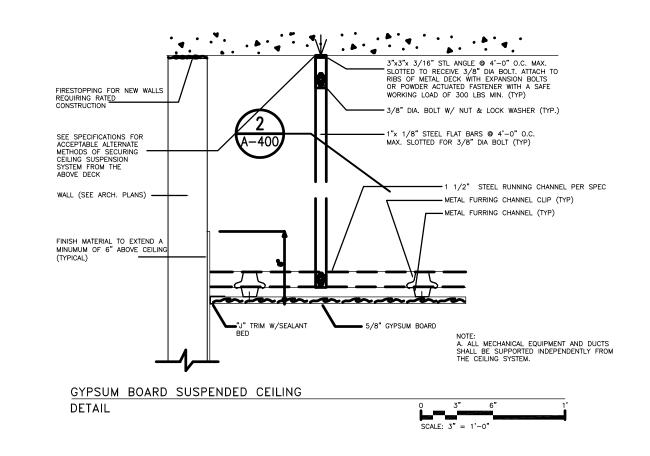
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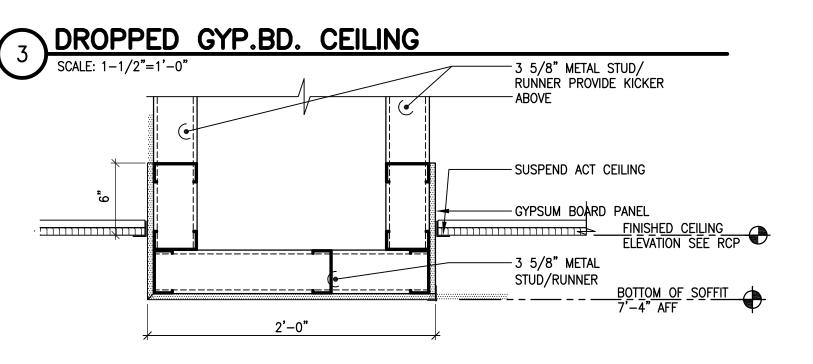
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ACOUSTIC LAY-IN CLG. DETAIL BLACK IRON SCALE: SEE GRAPHIC SCALE





RECEPTION SOFFIT DETAIL

SCALE: 1-1/2"=1'-0"

GYP. BOARD SUSPENDED CLG. DETAIL BLACK IRON
SCALE: SEE GRAPHIC SCALE



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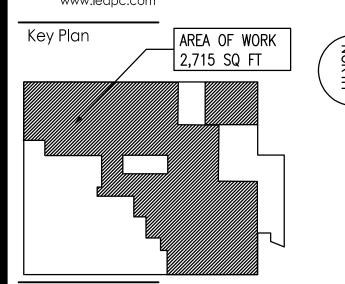
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Notes

Appd. YY.MM.DD Revision
 GM
 BD
 23.10.16

 GM
 BD
 23.05.01

 GM
 BD
 22.12.09

 By
 Appd.
 YY.MM.DD
 OMEGA ENVIRONMENTAL SERVICES Issued File Name: 00004B_A-400 - Ceiling Details.dwg Dwn. Chkd. Dsgn. YY.MM.DD

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669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

CEILING DETAILS

Project No. Scale **AS NOTED** 225300004 Drawing No. Revision Sheet

17 of 22

ORIGINAL SHEET - ARCH D

A-400

FIRE SAFING DETAIL. METALLIC PIPE THRU BLOCK WALL

U.L. SYSTEM NO. W-J-1098 NOT TO SCALE

TUBING MAX. 6" DIA.

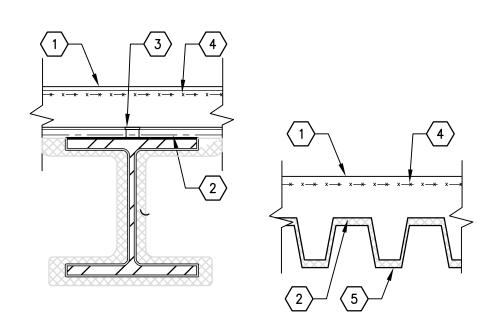
1. RATED PARTITION REFER TO ARCHITECTURAL DRAWING FOR FURTHER INFORMATION.

2. ONE METALLIC PIPE, CONDUIT OR TUBING TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRE STOP SYSTEM. PIPE CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL

PIPE MAX. 30" DIA. CONDUIT 6" DIA. (SMALLER) RIGID STEEL CONDUIT. CONDUIT 4" DIA. (SMALLER) STEEL ELECTRICAL METALLIC TUBING.

3. POLYETHYLENE BACKER ROD OR MAX. 1" THICKNESS OF TIGHTLY-PACKED MINERAL WOOL INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING TO BE RECESSED FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF CAULK FILL MATERIAL.

4. CAULK: APPLIED TO FILL THE ANNULAR SPACE FLUSH BOTH SIDES OF WALL SURFACE. AT POINT CONTACT LOCATION BETWEEN PENETRANT AND WALL MIN. 1/2" DIA. BEAD OF CAULK SHALL BE APPLIED TO WALL SURFACES.



U.L. DESIGN D858 - 2 HOUR RATING - (FLOOR SLAB)

BEAM - W10X25 MIN. SIZE.

(1) LIGHTWEIGHT CONC. EXPANDED SHALE OR SLATE AGGREGATE BY ROTARY-KILN METHOD: 113 (+2,5) PCF UNIT WEIGHT, 3,000 PSI COMPRESSIVE STRENGTH,

② STEEL FLOOR AND FORM UNITS (METAL FLOOR DECK) COMPOSITE 3" DEEP DEEP GALVANIZED UNITS, MIN 20 GA.: FLUTED.

(3) JOINT COVER - 2" WIDE PRESSURE SENSITIVE CLOTH TAPE APPLIED FOLLOWING THE CONTOUR OF STEEL FLOOR UNITS.

(4) WELDED WIRE MESH 6'X6", 8/8.

(5) TYPE D-C/F SPRAYED FIBER FIREPROOFING, APPLIED BY SPRAYING WITH WATER IN SEVERAL COATS TO FINAL UNTAMPERED THICKNESS AS SHOWN. USE OF ADHESIVES IS REQUIRED UNDER TRENCHES & CELLULAR UNITS OPTIONAL ON OTHER CONDITIONS MIN. AVG. AND MIN. IND.

DENSITY IS 13 PCF ON BM & STEEL FLOOR UNITS RESPECTIVELY

FIRE PROOFING NOTES AND DETAILS

*BEARING U.L. CLASSIFICATION.

EXISTING THICKNESS.

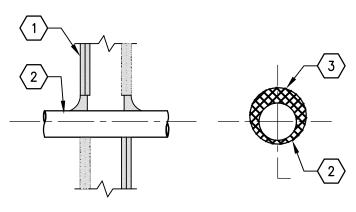
ALL PENETRATIONS THRU RATED WALLS WITHIN PROJECTED SCOPE (EXISTING & NEW PENETRATIONS) SHALL BE FULLY FIRESAFED TO MAINTAIN RATED ASSEMBLE.

2. TOP OF EXISTING CORRIDOR WALL FOR EXTENT OF THE PROJECT SCOPE SHALL BE FULLY FIRESAFED AT TOP OF WALL TO MAINTAIN FIRE RATED ASSEMBLY.

3. CONTRACTOR SHALL FULLY INSPECT EXISTING STEEL DECK AND BEAMS THROUGHOUT PROJECT SCOPE AND PATCH ALL AREA THAT FIREPROOFING IS MISSING TO WITH CAFCO FIRE PATCH OR APPROVED EQUIVALENT TO MATCH

4. ALL AREA WHERE EXISTING FIRE PROOFING IS REMOVED OR DAMAGED BY NEW CONSTRUCTION SHALL BE COMPLETELY PATCHED USING CAFCO FIRE PATCH OR APPROVED EQUIVALENT TO MATCH EXISTING THICKNESS.

5. WHERE EXISTING STEEL BEAMS/COLUMNS PENETRATE EXISTING/NEW FIRE RATED PARTITION THROUGHOUT PROJECTS' SCOPE. CONTRACTOR SHALL PACK FLANGES OF BEAMS & COLUMNS WITH MINERAL WOOL TO FULLY SEAL THE PENETRATING SIDES OF PARTITIONS.



FIRE SAFING DETAIL. METALLIC PIPE THRU GYP. BD. WALL

U.L. SYSTEM NO. W-L-1222 NOT TO SCALE

SECTION "A"

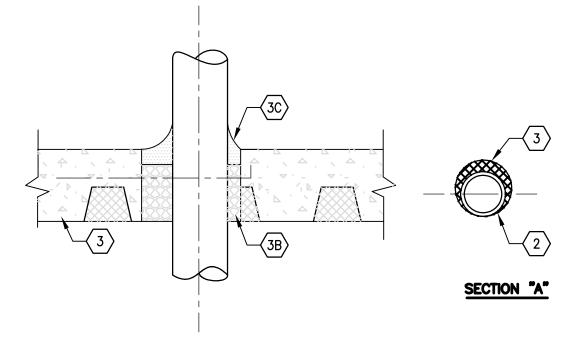
1. RATED PARTITION REFER TO ARCHITECTURAL DRAWING FOR FURTHER INFORMATION.

PLAN VIEW ECCENTRIC

2. ONE METALLIC PIPE, CONDUIT OR TUBING TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRE STOP SYSTEM. THE ANNULAR OPENING SHALL BE MIN. 0"-2" (POINT OF CONTACT) MAX.

3. MIN. %" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH BOTH SURFACES OF WALL. MIN. 1/2" DIA. BEAD OF CAULK TO THE PENETRANT-WALLBOARD INTERFACE AT THE POINT OF CONTACT LOCATION ON BOTH SIDES OF WALL.

CAULK MANUFACTURED BY MINNESOTA MINING + MANUFACTURING CO. - CP



FIRE STOPPING DETAIL AT SLAB PENETRATION

<u>U.L. SYSTEM DESIGN NO. C-AJ-1115</u>

1. FLOOR OR WALL ASSEMBLY: MINIMUM OF 4 ½" THICK REINFORCED CONCRETE FLOOR ASSEMBLY.

2. ONE METALLIC PIPE, CONDUIT OR TUBING TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRE STOP SYSTEM.

3. FIRESTOP SYSTEM: THE FIRESTOP SYSTEM SHALL CONSIST OF THE

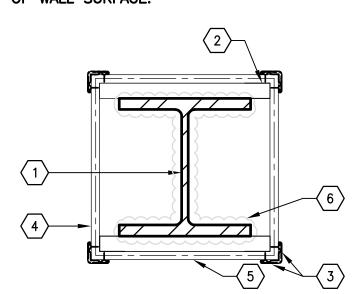
3A. STEEL WIRE MESH: (NOT SHOWN) WHERE NEEDED TO AID IN SYSTEM INSTALLATION IN CONCRETE WALL CONSTRUCTION.

3B. PACKING MATERIAL: MIN 3-3/4" THICKNESS FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE

REQUIRED THICKNESS OF FILL MATERIAL.

FOLLOWING:

3C. FILL, VOID OR CAVITY MATERIAL: CAULK: MIN. 3/4" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR OR BOTH SIDES OF WALL SURFACE.



EXISTING COLUMNS::

U.L. DESIGN X55 - 2 HOUR RATING

① STEEL COLUMN - (REFER TO STRUCTURAL)

2 16 GA GALV. METAL CONT. BREAKSHAPE, TACKWELD TO STEEL COLUMN

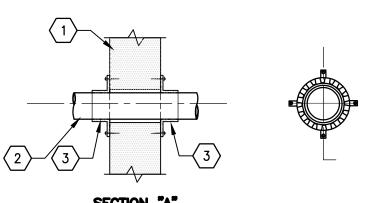
3 CORNER BEADS - 28 MSG GALVANIZED STEEL, 1/2" LESS ATTACHED WALL BOARD W/ #6 X 1" SCREWS, 12" O.C.

4 NOT USED

5 TYPE(S) BUGLE HEAD %" ABUSE RESISTANT GYP. BOARD FROM FLOOR TO 6" ABOVE FINISHED CEILING CONTINUE W/ %" GYP. BOARD FORM 6" ABOVE FINISHED CEILING TO UNDERSIDE OF DECK ABOVE.

(5) SPRAY APPLIED FIRE RESISTANT MATERIALS.

*BEARING U.L. CLASSIFICATION.



FIRE SAFING DETAIL. NON-METALLIC PIPE THRU BLOCK WALL

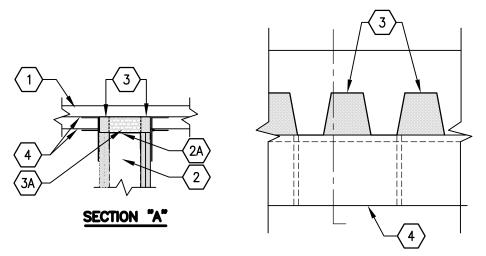
U.L. SYSTEM NO. W-J-2217 NOT TO SCALE

1. RATED PARTITION REFER TO ARCHITECTURAL DRAWING FOR FURTHER INFORMATION.

2. ONE NON-METALLIC PIPE OR CONDUIT TO BE CENTERED WITHIN OPENING. PIPE TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY.

PVC PIPE: MAX. 4" DIA. (OR SMALLER) SCHEDULE SOLID CORE OR CELLULAR CORE PVC PIPE. RIGID NON-METALLIC CONDUIT: MAX 4" DIA. (SMALLER) SCHEDULE 40 CPVC PIPE: MAX 4" DIA. (OR SMALLER) SDR17 CPVC PIPE FOR USE ABS PIPE: MAX 4" DIA. (OR SMALLER) SCHEDULE 40. FRPP PIPE: MAX 4" DIA. (OR SMALLER) SCHEDULE 40. PVDF PIPE: MAX 4" DIA. (OR SMALLER) SDR 11.

3. FIRE STOP DEVICE — COLLAR: INSTALLED AND LATCHED AROUND PIPE AND SECURED TO BOTH SIDES OF WALL WITH_____ULTRA FAST ANCHOR STRAPS AS MANUFACTURED BY MINNESOTA MINING + MANUFACTURING CO.



FIRE STOPPING DETAIL AT HEAD OF GYP. BD. WALL

U.L. SYSTEM NO. HW-D-0003

1. ROOF SYSTEM OR CONCRETE FLOOR ASSEMBLY

2. RATED PARTITION REFER TO ARCHITECTURAL DRAWING FOR FURTHER

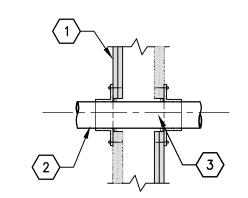
2A. STEEL FLOOR AND CEILING RUNNERS: 25 GAUGE GALV. STEEL CHANNELS SIZED TO ACCOMMODATE STUDS.

3. MIN. 4" THICKNESS OF MIN. 8 PCF DENSITY MINERAL WOOD. BATT. INSULATION CUT TO THE SHAPE OF THE FLUTED DECK. APPROX. 20% LARGER THAN THE AREA OF THE FLUTES & COMPRESSED INTO DECK FLUTES BETWEEN DEFLECTION CHANNEL & FLUTES. PROVIDE ADDITIONAL PIECES OF MINERAL WOOL COMPRESSED AND FIRMLY PACKED INTO THE FLUTES AND THE GAP BETWEEN TOP OF GYP. BD. AND BOTTOM OF DECK. MIN 3/4" THICK FOR 1 HR. RATED PARTITION AND MIN. OF 1-1/2" FOR 2 HR. RATED PARTITION.

MANUFACTURED BY ROCK WOOL MFG. CO. DELTA 8 BOARD OWENS CORNING HT. INC. STOPPING INSULATION.

3A. FORMING MATERIAL: MIN 2-3/4" & 4" THICKNESS OF MINIMUM 4PCF DENSITY MINERAL WOOL BATT. INSULATION FOR 1 HR. AND 2 HR RATED WALL, FIRMLY PACKED INTO FLUTES OF THE STEEL FLOOR UNITS AS A PERMANENT FORM AND RECESSED FROM BOTH SURFACES OF THE WALL.

4. MIN 1/8" WET 1/8" DRY THICKNESS OF FILL MATERIAL SPRAYED OR BRUSHED ON EACH SIDE OF THE WALL IN THE ROOF DECK FLUTES AND BETWEEN THE TOP OF THE GYP. BD. AND BOTTOM OF ROOF DECK TO COMPLETELY COVER MINERAL WOOL AND OVERLAP 1/2" ON ROOF DECK AND



FIRE SAFING DETAIL. NON-METALLIC PIPE THRU GYP. BD. WALL

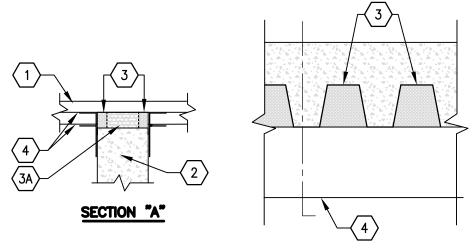
U.L. SYSTEM NO. W-L- 2237 NOT TO SCALE

1. RATED PARTITION REFER TO ARCHITECTURAL DRAWING FOR FURTHER INFORMATION.

2. ONE METALLIC PIPE, CONDUIT OR TUBING TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRE STOP SYSTEM. THE ANNULAR OPENING SHALL BE MIN. 0"-2" (POINT OF CONTACT) MAX.

3. MIN. %" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH BOTH SURFACES OF WALL. MIN. 1/2" DIA. BEAD OF CAULK TO THE PENETRANT-WALLBOARD INTERFACE AT THE POINT OF CONTACT LOCATION ON BOTH SIDES OF WALL.

CAULK MANUFACTURED BY MINNESOTA MINING + MANUFACTURING CO. - CP



FIRE STOPPING DETAIL AT HEAD OF BLOCK WALL

U.L. SYSTEM NO. HW-D-0008 NOT TO SCALE

ROOF SYSTEM CONCRETE: MIN 2 1/2" THICK REINFORCED CONCRETE, AS MEASURED FROM THE TOP PLANE OF THE FLOOR UNITS. FLOOR ASSEMBLY

2. RATED PARTITION REFER TO ARCHITECTURAL DRAWING FOR FURTHER INFORMATION.

3. MIN. 4.0 PCF MINERAL WOOD. BATT. INSULATION COMPRESSED AND FIRMLY PACKED INTO THE FLUTES AND THE GAP BETWEEN THE TOP OF THE WALL AND BOTTOM OF FLOOR ON BOTH SIDES OF THE WALL. PIECES OF BATT. TO BE CUT A MIN 3" TO THE SHAPE OF THE DECK 25% LARGER THAN AREA OF FLUTES WITH 3" WIDE SECTIONS OF A THICKNESS AT LEAST 50% LARGER THAN THE GAP BETWEEN THE TOP WALL AND THE BOTTOM OF STEEL FLOOR. MINERAL WOOL COMPRESSED FIRMLY INTO FLUTES AND COMPRESSED IN THICKNESS AND INSERTED EDGE FIRST INTO GAPS BETWEEN THE SIDES OF WALL.

MANUFACTURED BY OWENS CORNING - PAROCSAFING INSULATION THERMAFER LLC - TYP SAF ROCK WOOL MFG. CO. DELTA SAFING BOARD.

3A. FORMING MATERIAL: MIN 4-1/2" THICKNESS OF MINIMUM 4PCF DENSITY MINERAL WOOL BATT. INSULATION FIRMLY PACKED INTO FLUTES OF THE STEEL FLOOR UNITS AND BETWEEN THE TOP OF THE WALL AND THE BOTTOM OF THE STEEL DECK AS A PERMANENT FORM.

4. MIN 1/8" WET 1/6" DRY THICKNESS OF FILL MATERIAL SPRAYED OR BRUSHED ON EACH SIDE OF THE WALL IN THE ROOF DECK FLUTES AND BETWEEN THE TOP OF THE GYP. BD. AND BOTTOM OF ROOF DECK TO COMPLETELY COVER MINERAL WOOL AND OVERLAP 1/2" ON ROOF DECK AND



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Appd. YY.MM.DD GM BD 23.05.01 OMEGA ENVIRONMENTAL SERVICES
 GM
 BD
 22.12.09

 By
 Appd.
 YY.MM.DD
 OMH FILING File Name: 00004B_A-401 - Fire Stopping Details.dwg Dwn. Chkd. Dsgn. YY.MM.DD Permit-Seal

Client/Project

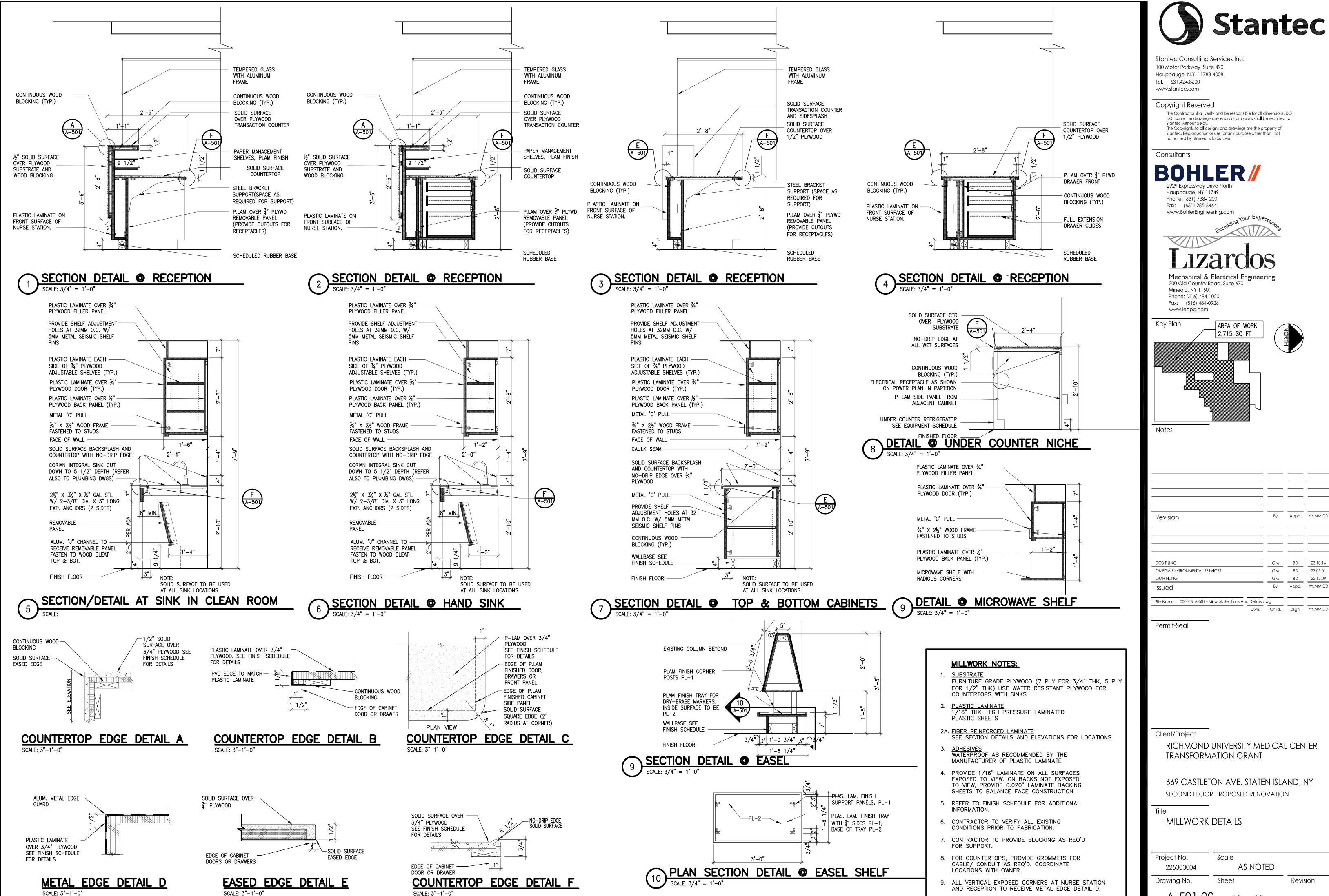
RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

FIRE STOPPING DETAILS

Project No. Scale 225300004 Sheet Revision Drawing No.

18 of 22



ORIGINAL SHEET - ARCH D

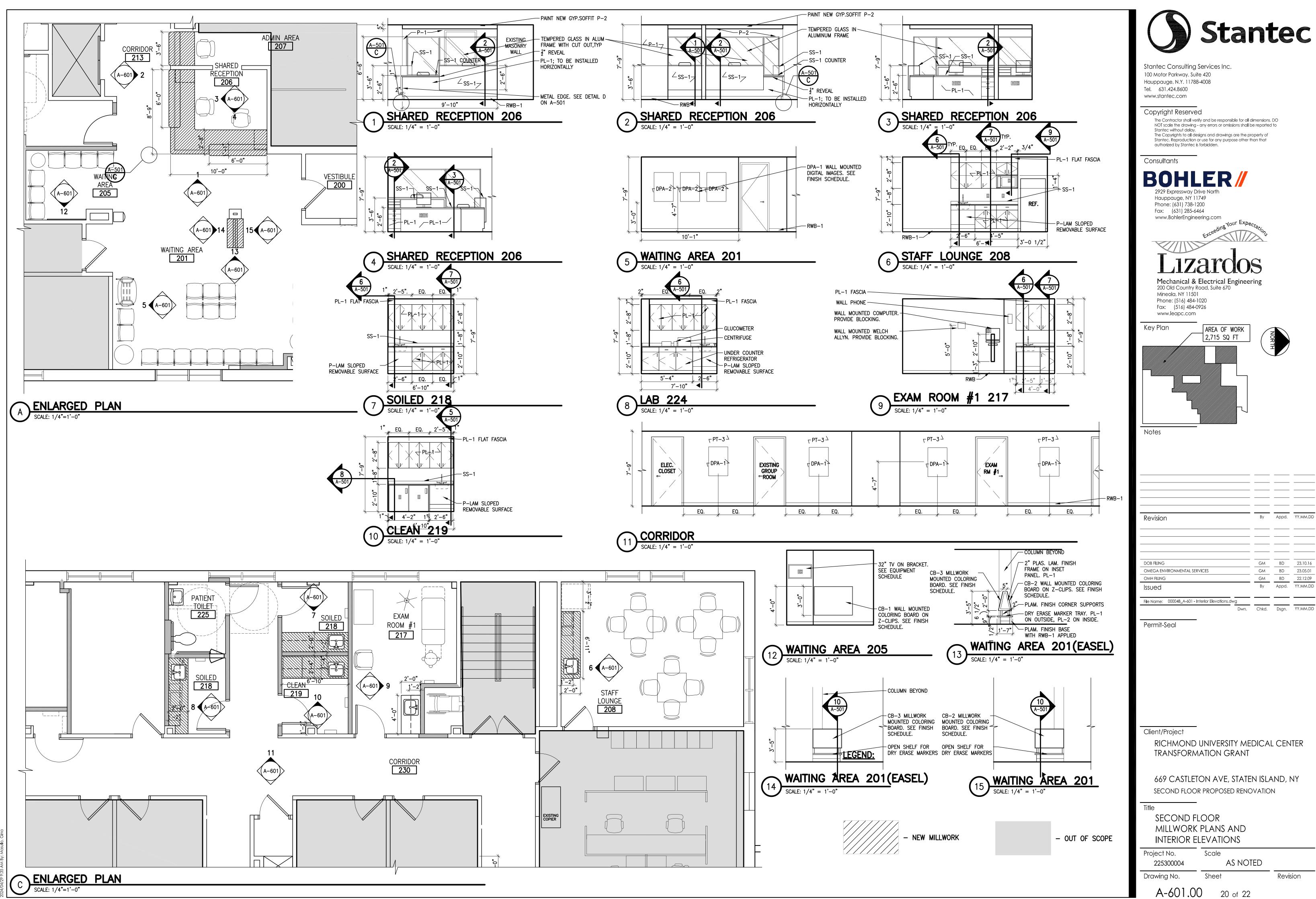
A-501.00 19 of 22 Appd. YY.MM.DD

GM BD 23.05.01

 GM
 BD
 22.12.09

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 YY.MM.DD

Revision



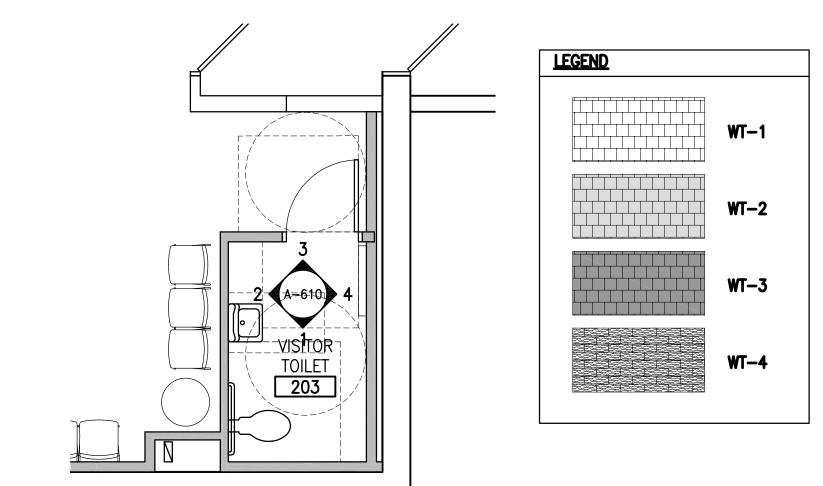
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 23.10.16

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 BD
 23.05.01

 GM
 BD
 22.12.09

 By
 Appd.
 YY.MM.DD

20 of 22



YENLARGED PARTIAL PLAN

2 ENLARGED PARTIAL PLAN
SCALE: 1/2"=1'-0"

3 ENLARGED PARTIAL PLAN
SCALE: 1/2"=1'-0"

PLUMBING SCHEDULE

48" STAINLESS STEEL GRAB BAR

42" STAINLESS STEEL GRAB BAR

18" STAINLESS STEEL GRAB BAR

SURFACE-MOUNTED TOILET TISSUE DISPENSER

SURFACE MOUNTED PAPER TOWEL DISPENSER

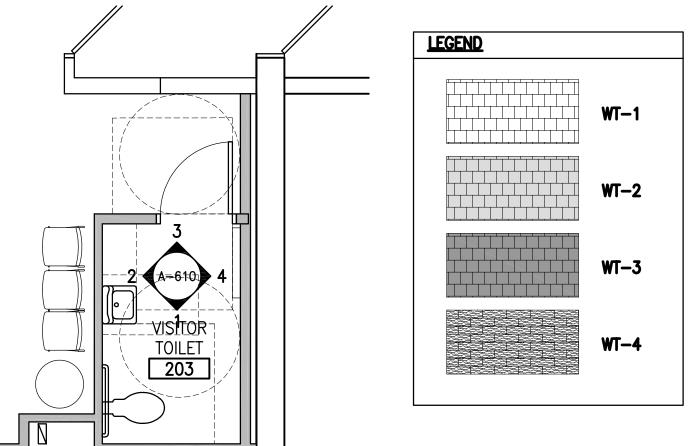
SURFACE MOUNTED SEAT COVER DISPENSER

SOAP DISPENSER

WALL MOUNTED SINK

MIRROR

TAG NO. DESCRIPTION



212

TOILET 210

MODEL

BOBRICK WASHROOM EQUIPMENT, INC. B-2908 SERIES; 2'x3' CONTRACTOR

CONTRACTOR

CONTRACTOR

CONTRACTOR

OWNER

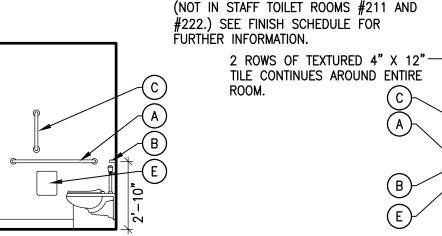
OWNER

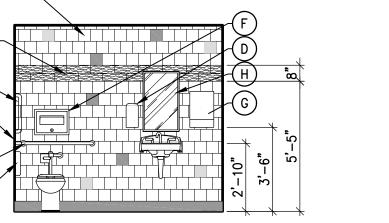
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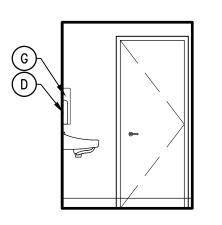
OWNER

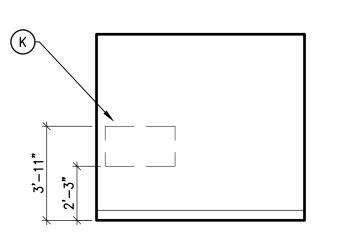
KB200 COLOR: 05SS CONTRACTOR

(ADA)









TOILET 210

VISITOR TOILET 203

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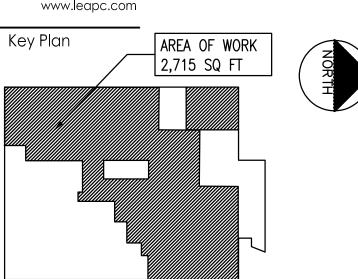
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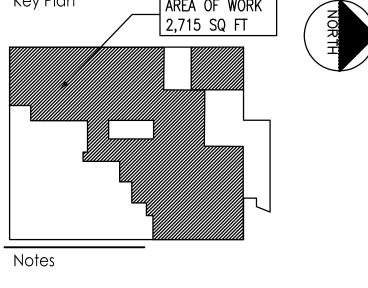
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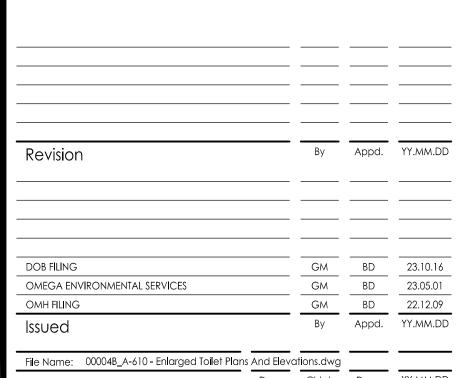
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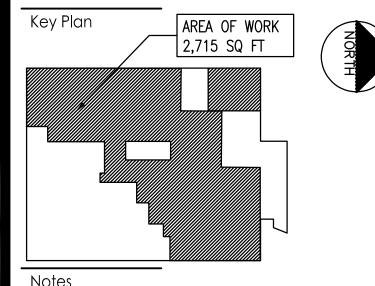
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File Name: 00004B_A-610 - Enlarged Toilet Plans And Elevations.dwg

Dwn. Chkd. Dsgn. YY.MM.DD

Permit-Seal

Client/Project RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Drawing No.

SECOND FLOOR **ENLARGED TOILET PLANS** AND ELEVATIONS

Scale AS NOTED 225300004

21 of 22

Sheet

Revision

TILE DESIGN TYPICAL FOR ALL PATIENT BATHROOMS ON ALL BATHROOM WALLS. (NOT IN STAFF TOILET ROOMS #211 AND

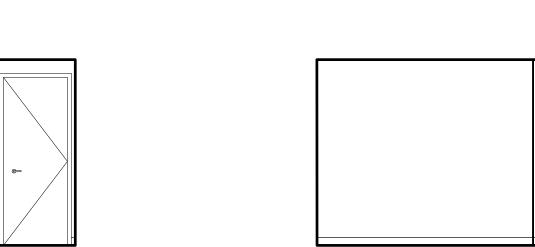
VISITOR TOILET 203

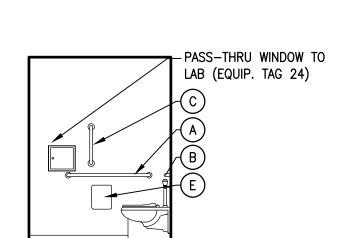
5 TOILET 210
SCALE: 1/4" = 1'-0"

VISITOR TOILET 203

TOILET 210

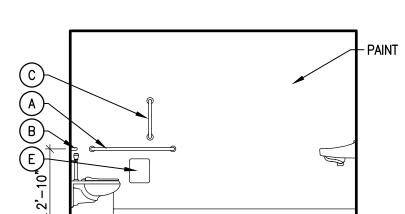
VISITOR TOILET 203

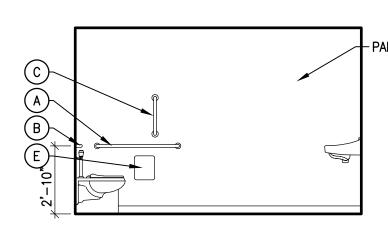




PATIENT TOILET 224

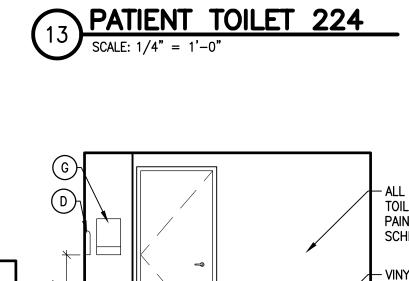
SCALE: 1/4" = 1'-0"





19 STAFF TOILET 222

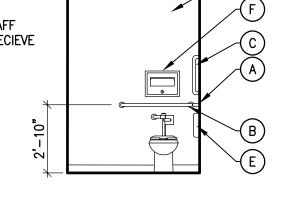
SCALE: 1/4" = 1'-0"



ALL WALLS IN STAFF TOILET 211 TO RECIEVE PAINT. SEE FINISH SCHEDULE. VINYL WALL BASE

- ALL WALLS IN STAFF TOILET 211 TO RECIEVE PAINT. SEE FINISH SCHEDULE.

- VINYL WALL BASE



18 STAFF TOILET 222

SCALE: 1/4" = 1'-0"

PATIENT TOILET 224

SCALE: 1/4" = 1'-0"

17 STAFF TOILET 222
SCALE: 1/4" = 1'-0"

PROVIDED BY INSTALLED BY

PIPING SHIELD SEE PLUMBING DRAWINGS CHANGING TABLE KOALA CARE FLOOR MOUNTED TOILET SEE PLUMBING DRAWINGS

MANUFACTURER

RUMC STANDARD

RUMC STANDARD

RUMC STANDARD

SEE PLUMBING DRAWINGS

BOBRICK WASHROOM EQUIPMENT, INC. B-6806

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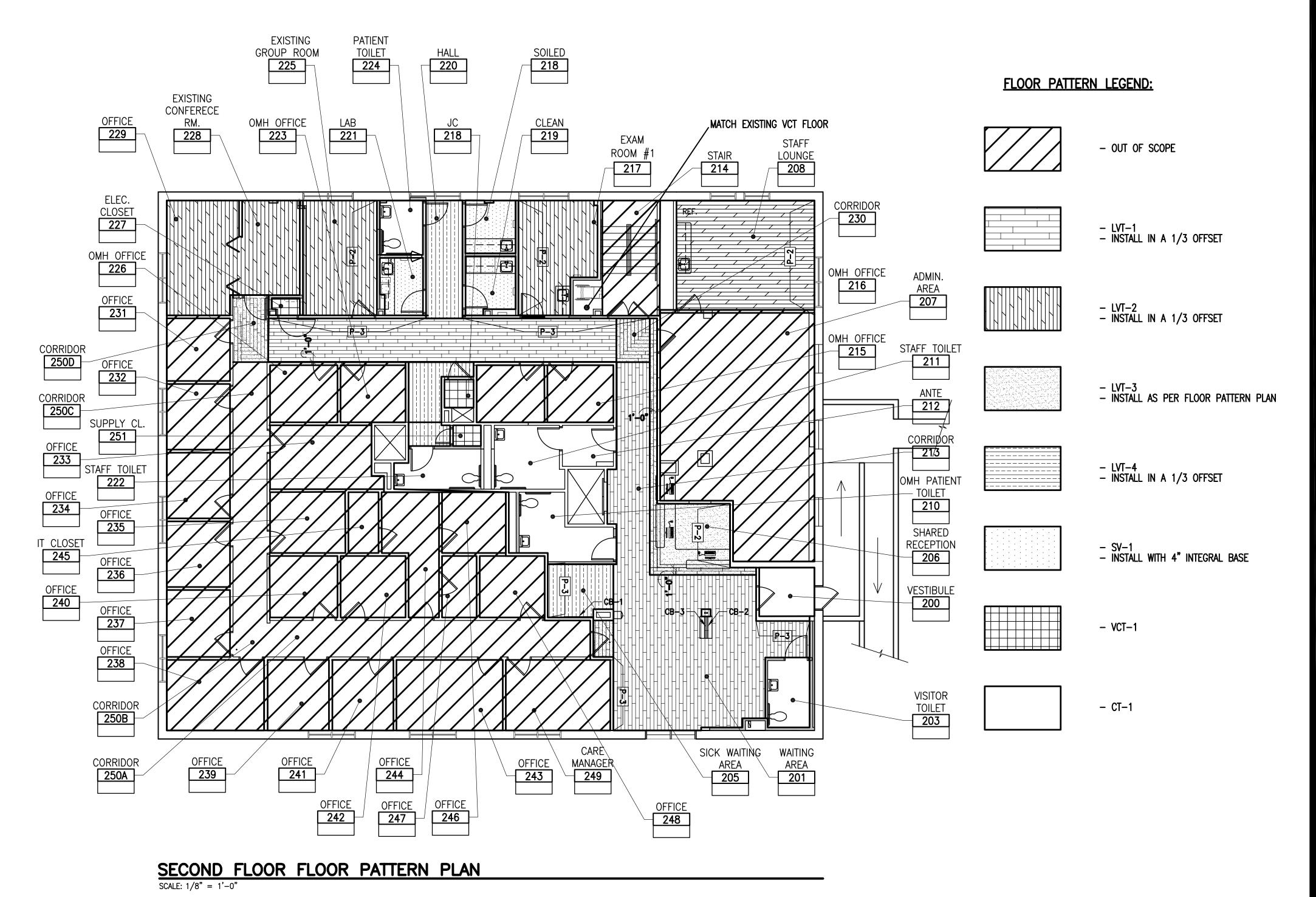
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ORIGINAL SHEET - ARCH D

PATIENT TOILET 224

SCALE: 1/4" = 1'-0"

-PAINT P-1



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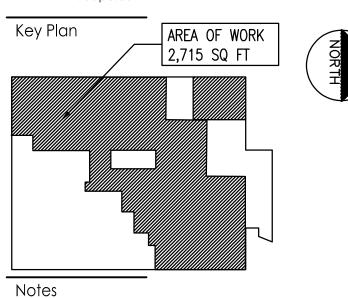
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Revision GM BD 23.05.01 OMEGA ENVIRONMENTAL SERVICES By Appd. YY.MM.DD Issued File Name: 00004B_A-620 - Finish Plan.dwg Dwn. Chkd. Dsgn. YY.MM.DD

Client/Project

Permit-Seal

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

FLOOR PATTERN AND FINISH PLAN

Scale Project No. AS NOTED 225300004 Sheet

Drawing No.

22 of 22

Revision